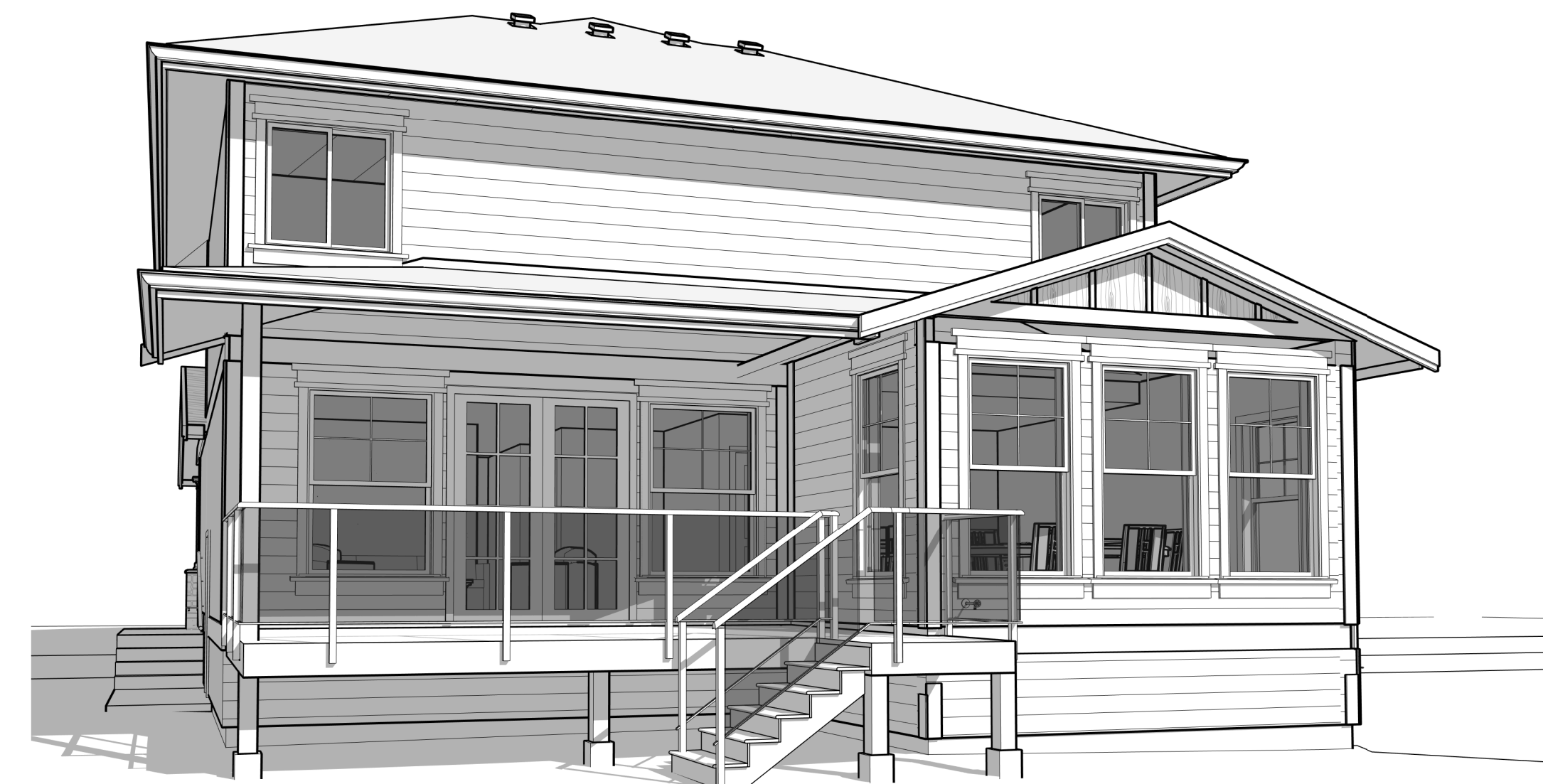


NEW HOME FOR AMBSTEP HOMES

Collins Drive (Lot 3), Chilliwack BC



FRONT PERSPECTIVE



REAR PERSPECTIVE

PROJECT INFORMATION:

SITE ADDRESS:
LOT 3 COLLINS DRIVE, CHILLIWACK, BC

LEGAL DESCRIPTION:

ZONE:
R3 (SMALL LOT ONE FAMILY RESIDENTIAL)

USE:
ONE FAMILY RESIDENTIAL (SINGLE FAMILY DETACHED DWELLING)

LOT SIZE:
MINIMUM LOT SIZE: 360 M²
ACTUAL LOT SIZE: 360 M²

LOT DIMENSIONS:
MINIMUM ALLOWABLE LOT WIDTH: 12.00 M
MINIMUM ALLOWABLE LOT DEPTH: 25.00 M
ACTUAL LOT WIDTH: 13.063 M
ACTUAL LOT DEPTH: 27.575 M

LOT COVERAGE:
MAXIMUM (ALL STRUCTURES): 50% (180 M²)
MAXIMUM ALLOWABLE (Urban Ancillary use): 45m²
ACTUAL LOT COVERAGE: 143.6m² (39.9%)

FLOOR AREA RATIO:
MAXIMUM ALLOWABLE: 75% (270 M²)
ACTUAL FLOOR AREA RATIO: 74.6% (268.6m²)

SETBACKS:

MINIMUM SETBACKS:
FLL (front lot line): 4.5m
RLL (rear lot line): 5.0m
ISLL (inside lot line): 1.2m
ESLL (exterior side lot line): 3.0m

ACTUAL SETBACKS:
FLL (front lot line): 4.5m
RLL (rear lot line): 6.0m
ISLL (inside lot line): 1.2m
ESLL (exterior side lot line): N/A

BUILDING HEIGHT:
MAXIMUM ALLOWABLE: 10m (32'-9 5/8")
ACTUAL HEIGHT: 8.07m (26'-5 1/2")

NO.	DRN	CHK	DATE	DESCRIPTION

Ambstep Homes
Lot 3 Collins Drive

DESIGNER:
GULIKER
DESIGN GROUP INC.
604.824.2774
www.guliker.ca
info@guliker.ca

CLIENT ADDRESS:
Ambstep Homes
9240 Young Road,
Chilliwack, BC

PROJECT:
Lot 3 Collins Drive
Chilliwack BC

TITLE:
perspective views

DRN: JG

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DATE: **APRIL 29, 2015**

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A. NOTES

- These drawings and the ideas contained in them are, and remain, the exclusive property of Guliker Design Group Inc.
- The Builder shall check and verify all drawings and dimensions for accuracy prior to the commencement of construction
- Drawings may be scaled, but written dimensions shall take precedence.
- Construction materials and procedures shall conform to the requirements outlined in the B.C. Building code 2012 edition and all addenda thereto, as well as any applicable local bylaws.
- The contractor shall take precautions as outlined by the Canadian Construction Safety Code to ensure the Public's safety.
- The Contractor shall take adequate precautions to store materials properly on site to save them from damage.
- Where applicable: read these drawings in conjunction with Structural, Mechanical, Electrical, Geotechnical, Civil and shop drawings prepared by other consultants.
- The contractor shall be responsible for taking out all relevant permits, and shall call for all necessary inspections by the authority having jurisdiction.

B. SITE WORK

- Slope all finished grades away from the building at a minimum of 1% to facilitate run-off of surface water.
- The builder shall check and verify all drawings and dimensions for accuracy prior to commencement of construction.
- Do not drain surface water onto adjacent properties.
- Graded slopes shall not exceed the natural angle of repose for the type of material being used unless the builder shall take precautions as outlined by the Canadian Construction Safety to ensure the public approved counteracting measures are undertaken.
- Building site survey is required prior to pouring foundation walls.

C. FOUNDATIONS

- Footings shall rest on native, undisturbed, inorganic soil below frost penetration.
- Allow openings in foundations for services as required and to be confirmed before pouring concrete.
- Do not backfill before floor joists and subflooring are securely in place, or before concrete has reached its 28 day strength.
- Anchor all plates to foundation with 5/8" X 8" long steel anchor bolts.
- Protect wood members in contact with concrete with a dampproofing material.

D. FLOORS

- Provide 2.5" rigid insulation (RSI 2.1) below all unheated concrete slabs above frost line.

E. FRAMING

- All framing to be in accordance with the B.C. Building code or Structural Engineer.
- All Engineered PSL, LVL, LSL, etc., Beams and columns to be confirmed confirmed by a Structural Engineer.
- Contractor shall provide truss shop drawings to Guliker Design Group Inc. for review prior to construction.

F. ROOF

- Provide 1300 roof venting - 50% spread evenly around perimeter and 50% at ridge.

G. DOORS/WINDOWS AND VENTILATION

- All windows and their installation shall comply with NAFS Standard specifications as per 9.7.4 of the 2012 B.C. Building Code
- Install aluminum flashing over all unprotected exterior wall penetrations.
- Install screened covers to all vents, ducts, etc., designed to prevent entry of debris, insects, birds, or rain.
- Install screens to connections between gutters and downspouts (or roof and drains) to prevent entry of debris.
- Principal ventilation exhaust fan to be provided at a rate of 42 L/s for 380m² of floor area and bedrooms as per B.C. 2012, Table 9.32.3.5

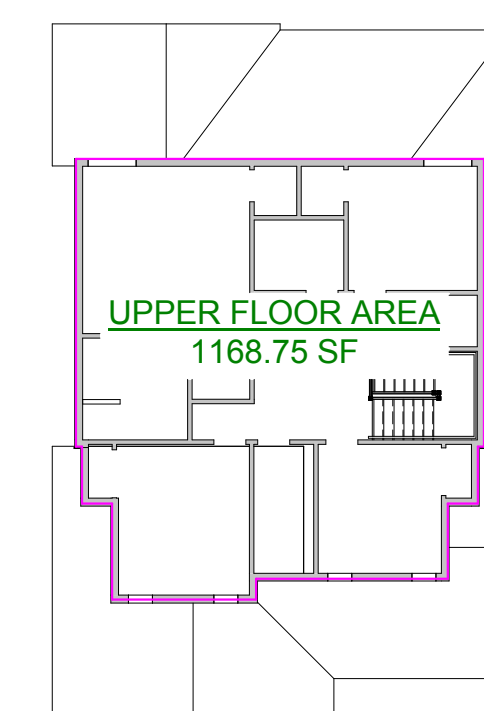
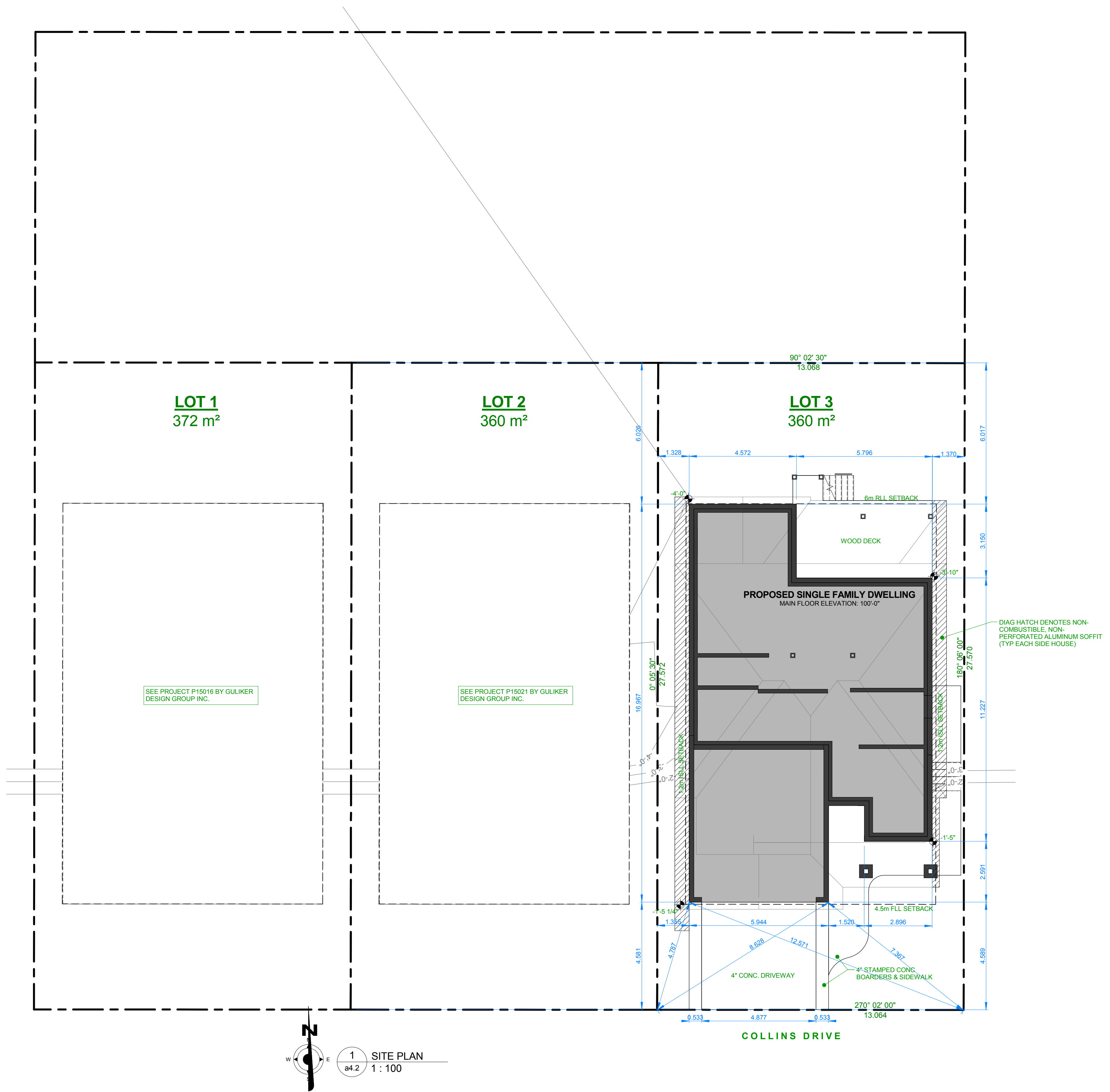
ABBREVIATIONS

45 MIN - 45 MINUTE	FRP - FIBERGLASS REINFORCED PANELS
A-BOLT - ANCHOR BOLT	GB - GYPSUM BOARD
A.B. - ANCHOR BOLT	HA - HECTARES
ARCH - ARCHITECTURAL DRAWINGS	HC - HOLLOW CORE
AL-ROD - ANCHOR ROD	H.S. - HOT DIPPED GALVANIZED STEEL
AC - ACRE	H.2.E - HOOK ONE END
AD - AREA DRAIN	H.2.E - HOOK TWO ENDS
AFF - ABOVE FINISHED FLOOR	HM - HOLLOW METAL
ALUM - ALUMINUM	HR - HOUR
AN - ANODIZED	HW - HARDWOOD
AT - ACOUSTICAL TILE	HWT - HOT WATER TANK
B.U.L - BOTTOM UPPER LAYER	IS - INSULATED
B.L.L - BOTTOM LOWER LAYER	INS - INTERIOR SIDE LOT LINE
B.W.B - BRACED WALL BAND	ISLL - INSULATED
B.W.P - BRACED WALL PANEL	LAM - LAMINATE
B.C.B.C. - BC BUILDING CODE	LAV - LAVATORY SINK
B.C. - BOTTOM CHORD	LL - LIVE LOAD
BF - BIFOLD DOOR	LLV - LONG LEG VERTICAL
BM - BEAM	LLH - LONG LEG HORIZONTAL
BP - BUILDING PAPER	LOC. - LOCATIONS
BU - BUILT UP	M - METERS
FB - FLUSH BEAM	MECH - MECHANICAL
DB - DROPPED BEAM	MIN - MINIMUM
ESLL - EXTERIOR SIDE LOT LINE	MTL - METAL
LSL - LAMINATED STRAND LUMBER	N/A - NOT APPLICABLE
PSL - PARALLEL STRAND LUMBER	No. - NUMBER
LVL - LAMINATED VENEER LUMBER	OC - ON CENTRE
GLULAM - GLULAM	OC - ON CENTRE
T.U.L - TOP UPPER LAYER	O.H - OVERHEAD
T.L.L - TOP LOWER LAYER	PEMB - PRE-ENGINEERED METAL BUILDING
CSINK - COUNTER SINK	PD - POCKET DOOR
CHL - CHAIN LINK	PL - PROPERTY LINE
CHLG - CHAIN LINK GATE	P.O. - POST OVER
CMU - CONCRETE MASONRY UNIT	P.T. - PRESSURE TREATED
CONC. - CONCRETE	REQD - REQUIREMENT
CP - COMPLETE PENETRATION	RD - ROOF DRAIN
CPT - CARPET	RLL - REAR LOT LINE
CPTT - CARPET TILE	RW - REINFORCED WITH
CT - CERAMIC TILE	R.O. - ROUGH OPENING
ow - COMPLETE WITH or COMES WITH	R/S - ROD AND SHELF
DD - DECK DRAIN	SD - SMOKE DETECTOR
DIA - DIAMETER	SM - SQUARE METERS
DL - DEAD LOAD	S.O.G - SLAB ON GRADE
DN - DOWN	STRUCT - STRUCTURAL
DWG - DRAWING	SQFT - SQUARE FEET/FOOT
DWGS - DRAWINGS	SST - SIMPSON STRONG TIE
F.L.L - FINISHED GRADE	SW - SHEAR WALL
EE - EACH END	T&G - TONGUE AND GROOVE
EA - EACH	THK - THICK
EC - EPOXY COATING	TYP - TYPICAL
EG - EXISTING GRADE	UN. - UNLESS NOTED
EGB - EXISTING GYPSUM BOARD	UNO - UNLESS NOTED OTHERWISE
ELEC - ELECTRICAL	UIS - UNDERSIDE
EWP - EXISTING WALL PANEL	VB - VAPOR BARRIER
EXTG - EXISTING	W - WITH
EXP - EXPOSED	W - WITH
EXT. - EXTERIOR	Q - QUANTITY
FD - FLOOR DRAIN	
FG - FINISHED GRADE	
FLL - FRONT LOT LINE	
F.P. - FROST PROTECTION	

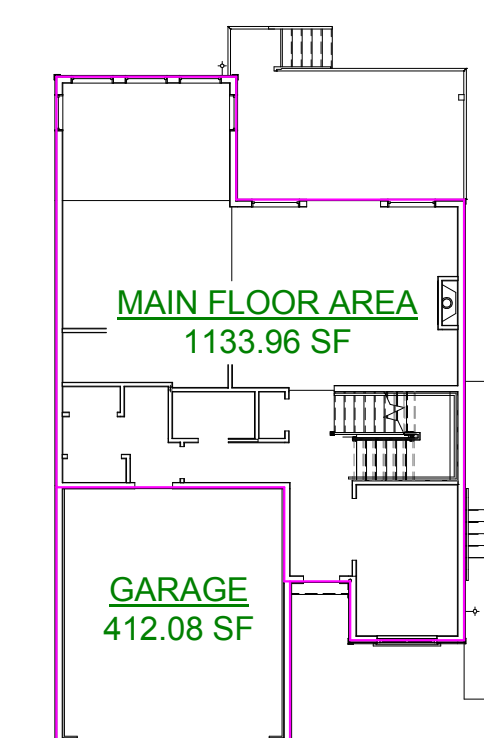
DRAWING LEGEND SYMBOLS

	DIRECTION OF BUILDING OR WALL ELEVATION		REVISION NUMBER
	ELEVATION NUMBER		FLOOR CONSTRUCTION ASSEMBLY
	SHEET LOCATION OF ELEVATION		ROOF CONSTRUCTION ASSEMBLY TAG
	DIRECTION OF BUILDING OR WALL ELEVATION		FOOTING TAG
	ELEVATION NUMBER		SHEARWALL TAG
	SHEET LOCATION OF ELEVATION		HOLD DOWN
	CALLOUT NUMBER		JOIST TAG
	SHEET LOCATION OF CALLOUT		FLOOR PANEL TYPE TAG
	EXTEND OF CALLOUT / DETAIL		ARROW DIRECTION
	DOOR NUMBER SYMBOL		LIGHT
	WINDOW NUMBER SYMBOL		WALL PANEL NUMBER
	WALL TYPE		PILE NUMBER
	SPOT ELEVATION		STRAP SYMBOL
	CO CO DETECTOR		POINT LOAD ON ACTIVE LEVEL
	SA SMOKE ALARM		POINT LOAD FROM ABOVE
	EXHAUST FAN		TRUE NORTH DIRECTION
	PROJECT NORTH DIRECTION		NORTH ARROW

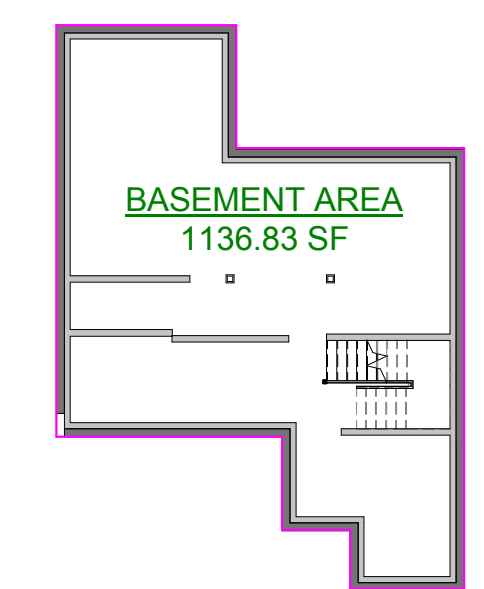
DRAWING LIST & REVISIONS				
NO.	TITLE	REV#	REV. DATE	REV. DESCRIPTION
a1.1	perspective views			
a2.1	site plan			
a3.1	basement floor plan			
a3.2	main floor & upper floor plans			
a4.1	building elevations			
a4.2	building sections			
a5.1	energy efficiency requirements			
a6.1	building envelope details			
a7.1	3d floor plans			



4 UPPER FLOOR AREA PLAN
a4.1 1/16" = 1'-0"



2 MAIN FLOOR AREA PLAN
a4.1 1/16" = 1'-0"



3 BASEMENT FLOOR AREA
a4.2 1/16" = 1'-0"

NO.	DRN.	CHK.	DATE	DESCRIPTION

Ambstep Homes
Lot 3 Collins Drive

DESIGNER:

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 info@guliker.ca

CLIENT ADDRESS:
 Ambstep Homes
 9240 Young Road,
 Chilliwack, BC

PROJECT:
 Lot 3 Collins Drive
 Chilliwack BC

TITLE:
 site plan

DRN: JG

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KEYNOTE LEGEND	
#	DESCRIPTION
AF-2001	8" CONCRETE WALL W/ (2) LAYERS DAMP PROOFING, RW 10M @ 24" o/c OR AS PER STRUCTURAL ENGINEER.
AFL-2256	4" (28MPA) CONC. SLAB ON 6 MIL V.B. POLY. TAPE AT SEAMS AND PERIMETER OVER 6" MIN. COMPACTED GRANULAR COMPACTED FILL
AP-2401	HOT WATER TANK C/W CATCH PAN AND APPROVED DUAL CHECK VALVES. PROVIDE SEISMIC RESTRAINT AS REQUIRED.
AR-2102.1	36" HIGH GUARD RAIL @ 8.74' MAX 3 15/16" BETWEEN BALUSTERS. @ 8.8.5
ARO-2301	6" CONT. ALUMINUM GUTTER.
ARO-2601	ROOF HAT VENT - 12"X12"
AW-1003	1/2" G.W.B. EACH SIDE, 2X8 STUDS AT 16" O/C ALIGNED W/ JOISTS AND/OR TRUSSES
AW-1004	1/2" G.W.B. 2X4 STUDS AT 16" O/C ALIGNED W/ JOISTS AND/OR TRUSSES, 2" RIGID INSULATION.
AW-1052	CLADDING AS PER OWNER, 3/8" RAIN SCREEN, TYVEK BUILDING WRAP - TAPE AT ALL SEAMS & PENETRATIONS, 1/2" PLYWOOD SHEATHING, 2X6 STUDS AT 16" O/C ALIGNED WITH JOISTS, INSULATION AS PER HEAT EFFICIENCY SCHEDULE
SCC-2016	8"X8" CONC. COLUMN, RW (4) 10M HOOKED VERTS INTO FOOTING
SW-3002	6" CONCRETE CURB RW (1) 10M AT TOP OF CURB & 10M VERTS @ 24" o/c INTO FOOTING

NO.	DRN.	CHK.	DATE	DESCRIPTION

Ambstep Homes
Lot 3 Collins Drive

PROJECT:

DESIGNER:

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CLIENT ADDRESS:

Ambstep Homes
9240 Young Road,
Chilliwack, BC

PROJECT:

Lot 3 Collins Drive
Chilliwack BC

TITLE:

basement floor plan

DRN:

JG

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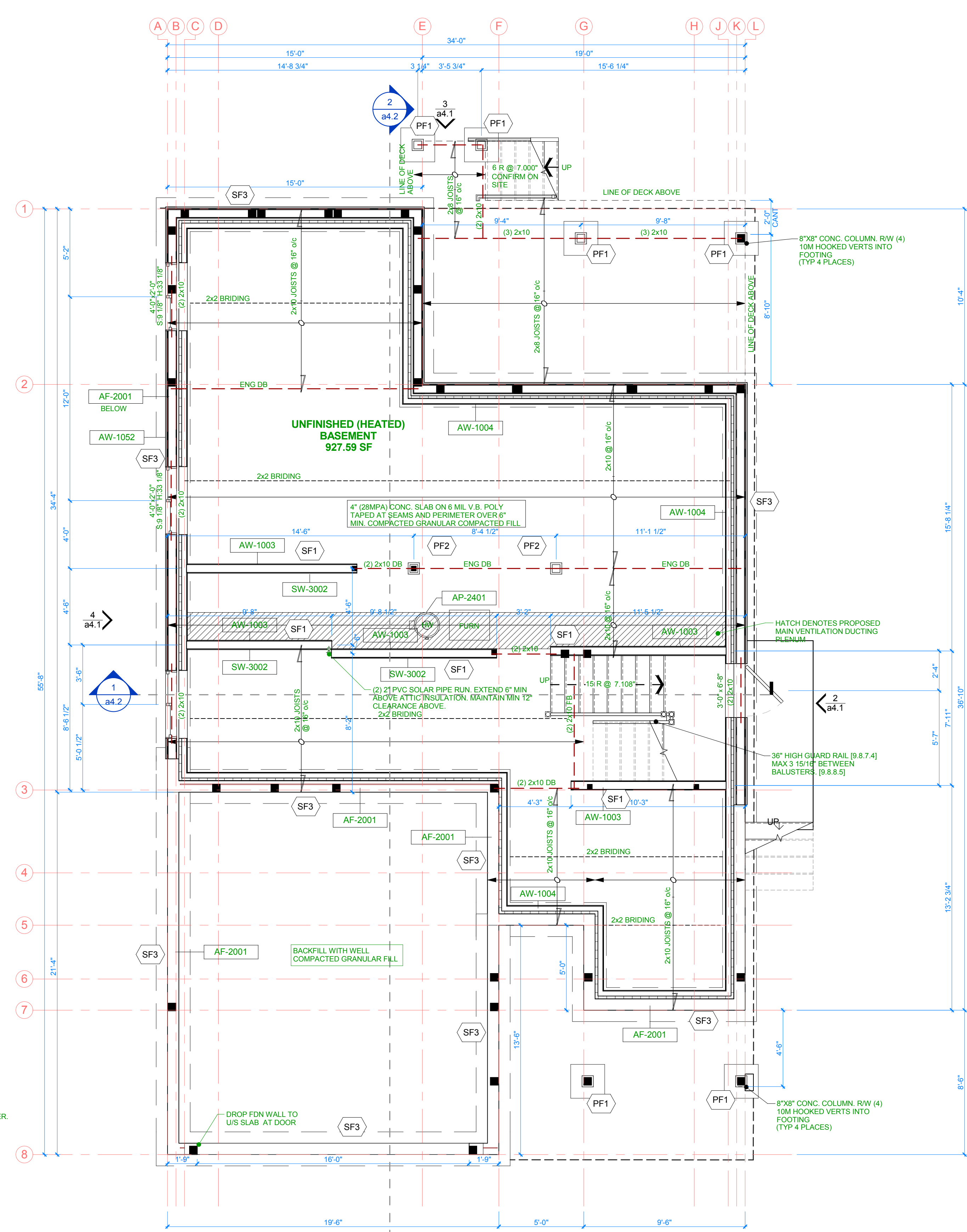
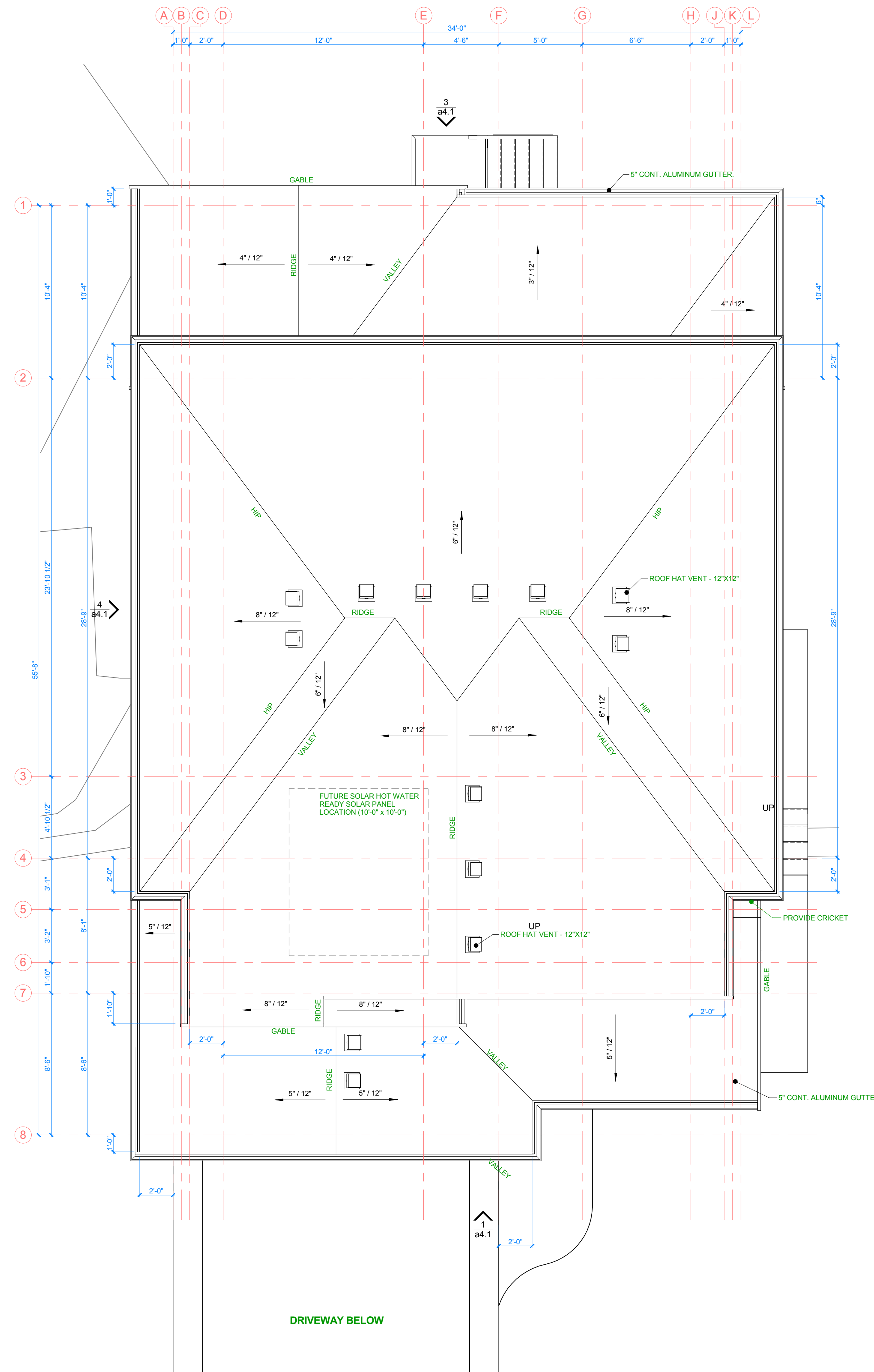
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FOOTING SCHEDULE				
TAG	SIZE	REINFORCING	MPa	NOTES
F4	36" x 36" x 8" INK PAD	(4) 15M CONT. & 15M TRANSVERSE BARS @ 24" o/c		
PF1	24" x 24" x 8" INK PAD	(3) 15M x 32" LG EW		
PF2	36" x 36" x 8" INK PAD	(2) 15M CONT.		
SF1	18" x 8" CONT.	(2) 15M CONT.		
SF3	24" x 8" CONTINUOUS	(2) 15M CONT.		
SF6	20" x 8" CONT.	(2) 15M CONT.		

#	DESCRIPTION
AC-2001	SINGLE DWELLING ATTIC ACCESS HATCH - MIN. 2'-1" 13/64" X 19' 11/16" CLEAR OPENING [9.19.2.1]
ADO-2201	SOLID CORE GARAGE DOOR TO RECEIVE WEATHER STRIPPING, SELF-CLOSING HINGES AND SECURITY HARDWARE. PROVIDE MIN 2" CONC. BELOW DOOR
AH-2202	GAS FIREPLACE c/w MANTLE, HEARTH & FINISHES AS PER OWNER'S SPECS
AH-2601	N GAS SUPPLY
AMC-4003	8X8 WOOD COLUMN
AP-2351	60" TUB / SHWR UNIT
AP-2601	HOSE BIBB
AR-2102.1	36" HIGH GUARD RAIL [9.8.7.4] MAX 3' 15/16" BETWEEN BALUSTERS [9.8.8.5]
AR-2104	42" HIGH ALUMINUM GUARD RAIL [9.8.7.4] W/ GLASS PANELS
AST-2001	(2) 2X12 STRINGER EACH SIDE, 5/8" PLYWOOD RISERS, 1" PRESSED BOARD TREAD WITH 1" THK X 1"30 ROUND NOSING
AW-1001	INTERIOR PARTITION WALL
AW-1003	12" G.W.B EACH SIDE, 2X4 STUDS AT 16" O/C ALIGNED W/ JOISTS AND/OR TRUSSES
AW-1009	GARAGE 2x6 WALL ASSEMBLY: 6 MIL V.B. POLY - TAPED AT ALL SEAMS AND WALL PENETRATIONS, 1/2" PLYWOOD SHEATHING, 2x6 STUDS AT 16" O/C ALIGNED WITH JOISTS, INSULATION AS PER HEAT EFFICIENCY SCHEDULE
AW-1052	CLADDING AS PER OWNER, 3/8" RAIN SCREEN, TYVEK BUILDING WRAP - TAPE AT ALL SEAMS & PENETRATIONS, 1/2" PLYWOOD SHEATHING, 2x6 STUDS AT 16" O/C ALIGNED WITH JOISTS, INSULATION AS PER HEAT EFFICIENCY SCHEDULE

NO.	DRN	CHK	DATE

Ambstep Homes
Lot 3 Collins Drive

PROJECT:

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Ambstep Homes
9240 Young Road,
Chilliwack, BC

PROJECT:

Lot 3 Collins Drive
Chilliwack BC

TITLE:

main floor & upper floor
plans

DRN

JG

DATE:

APRIL 29, 2015

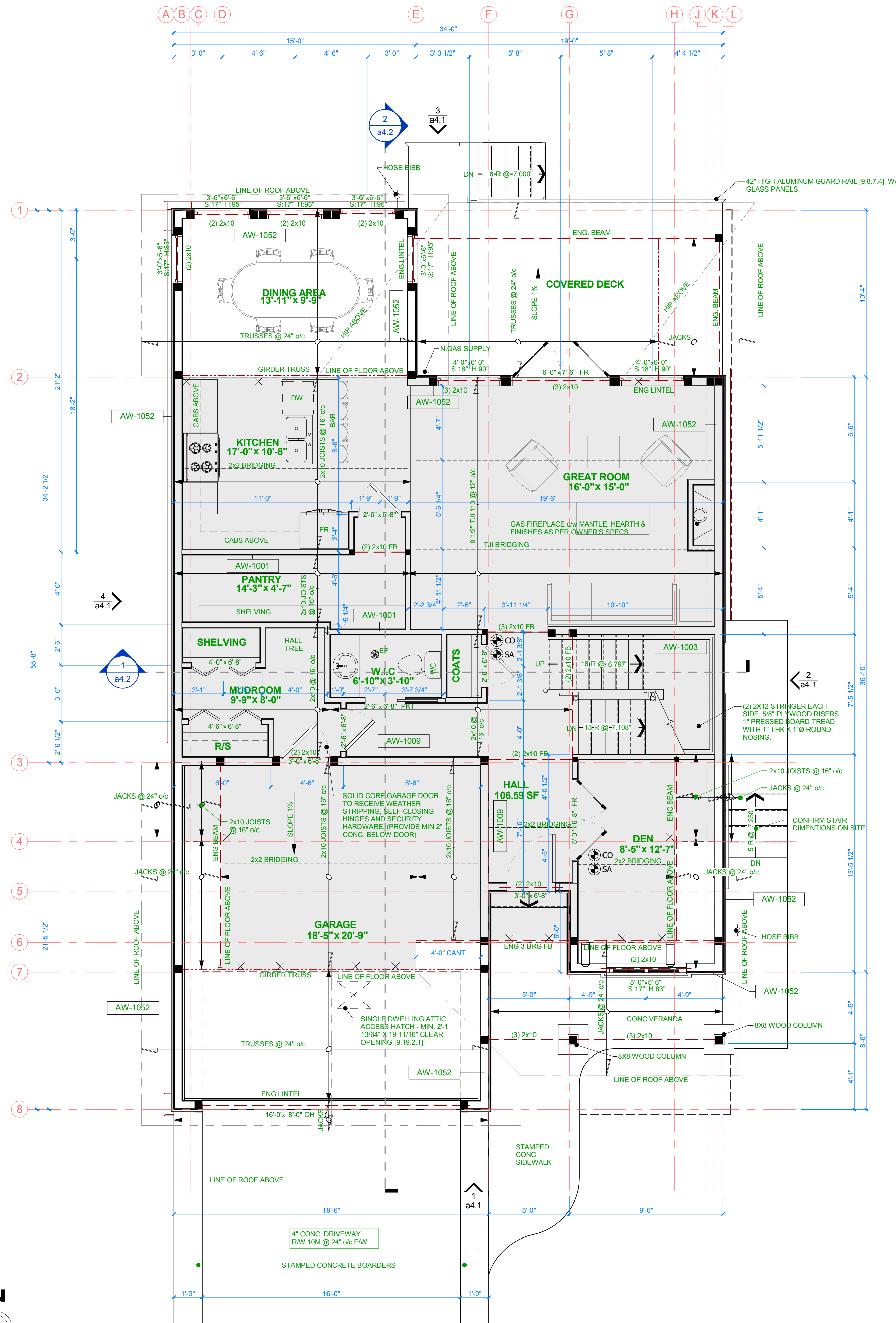
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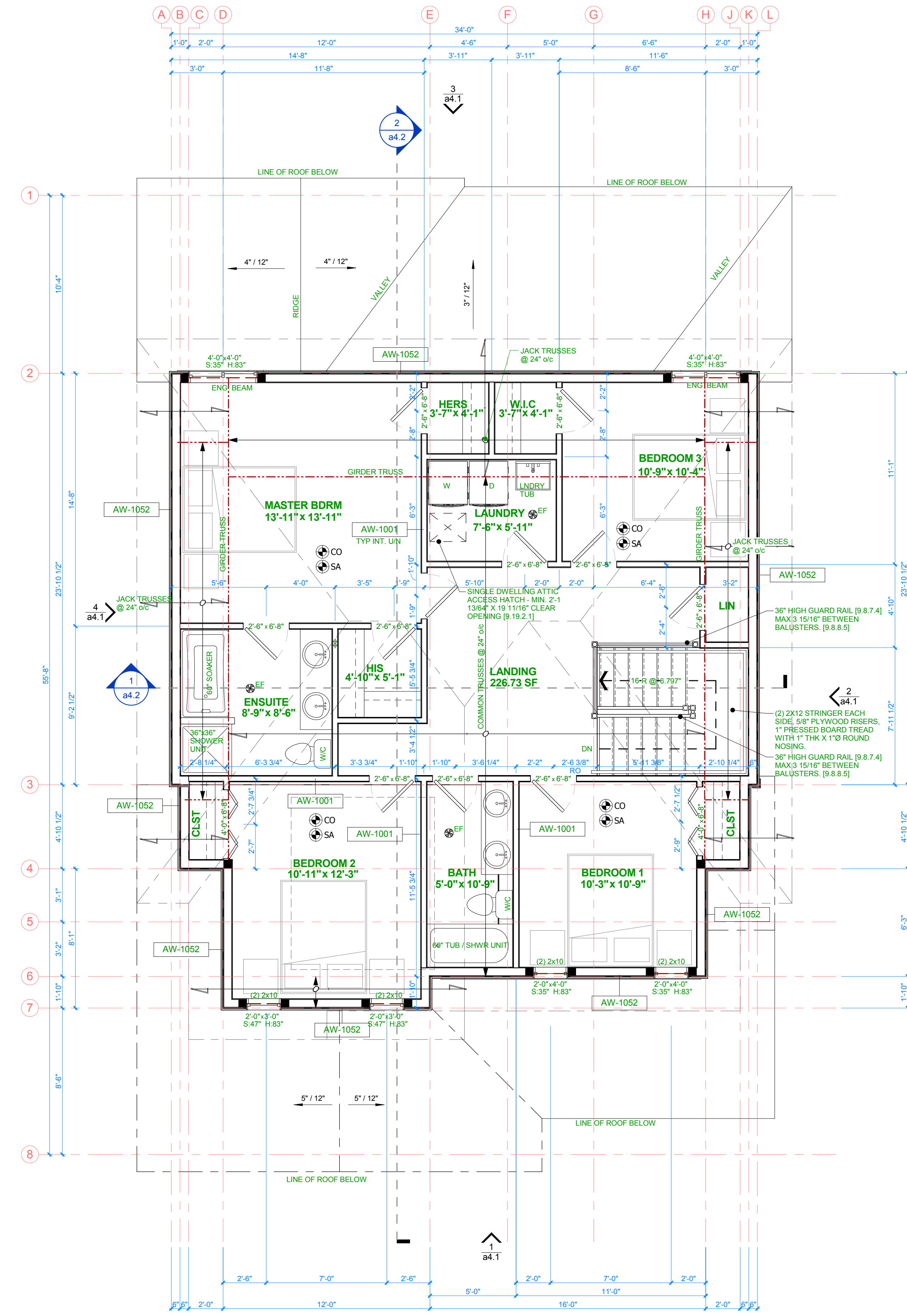
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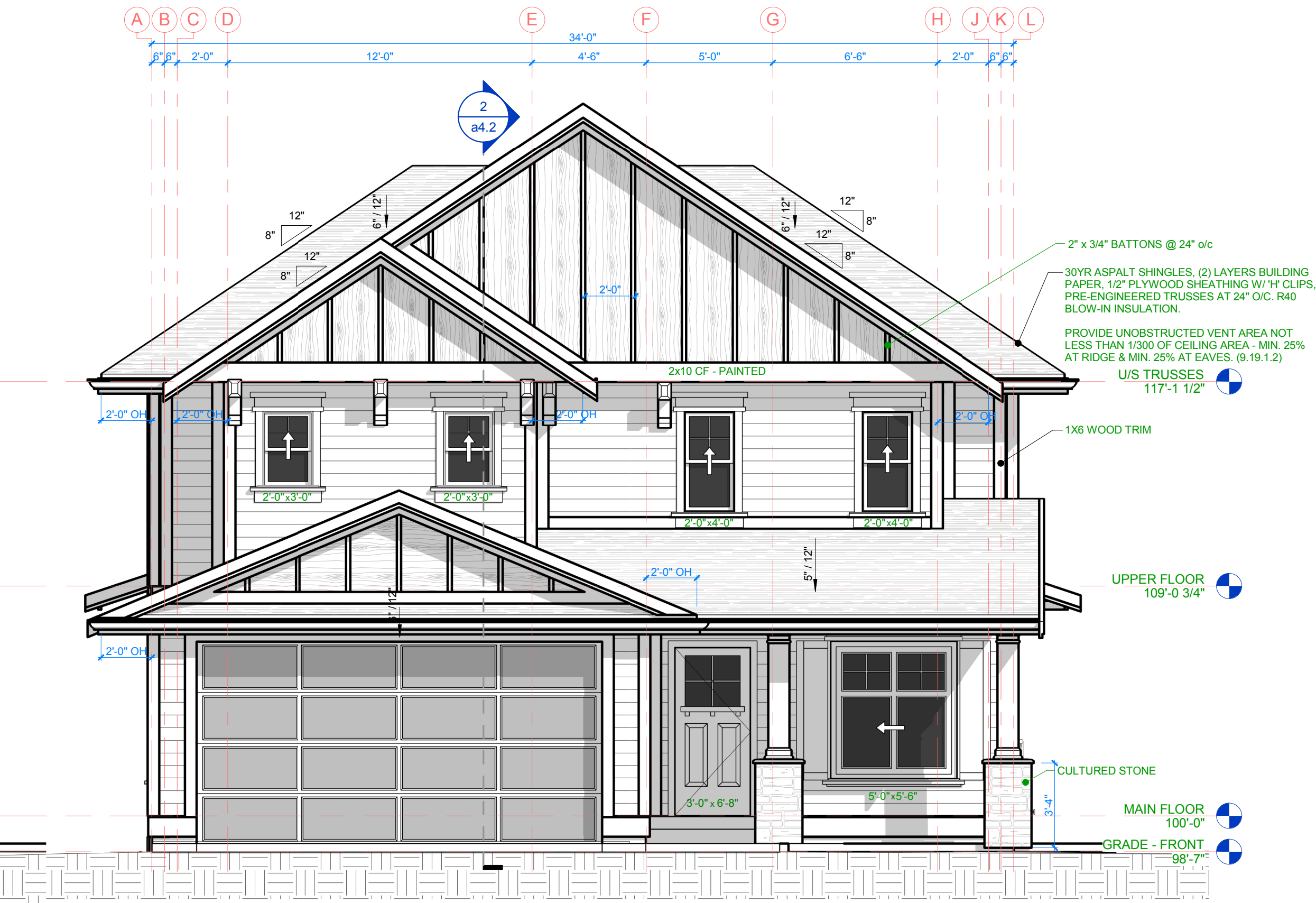
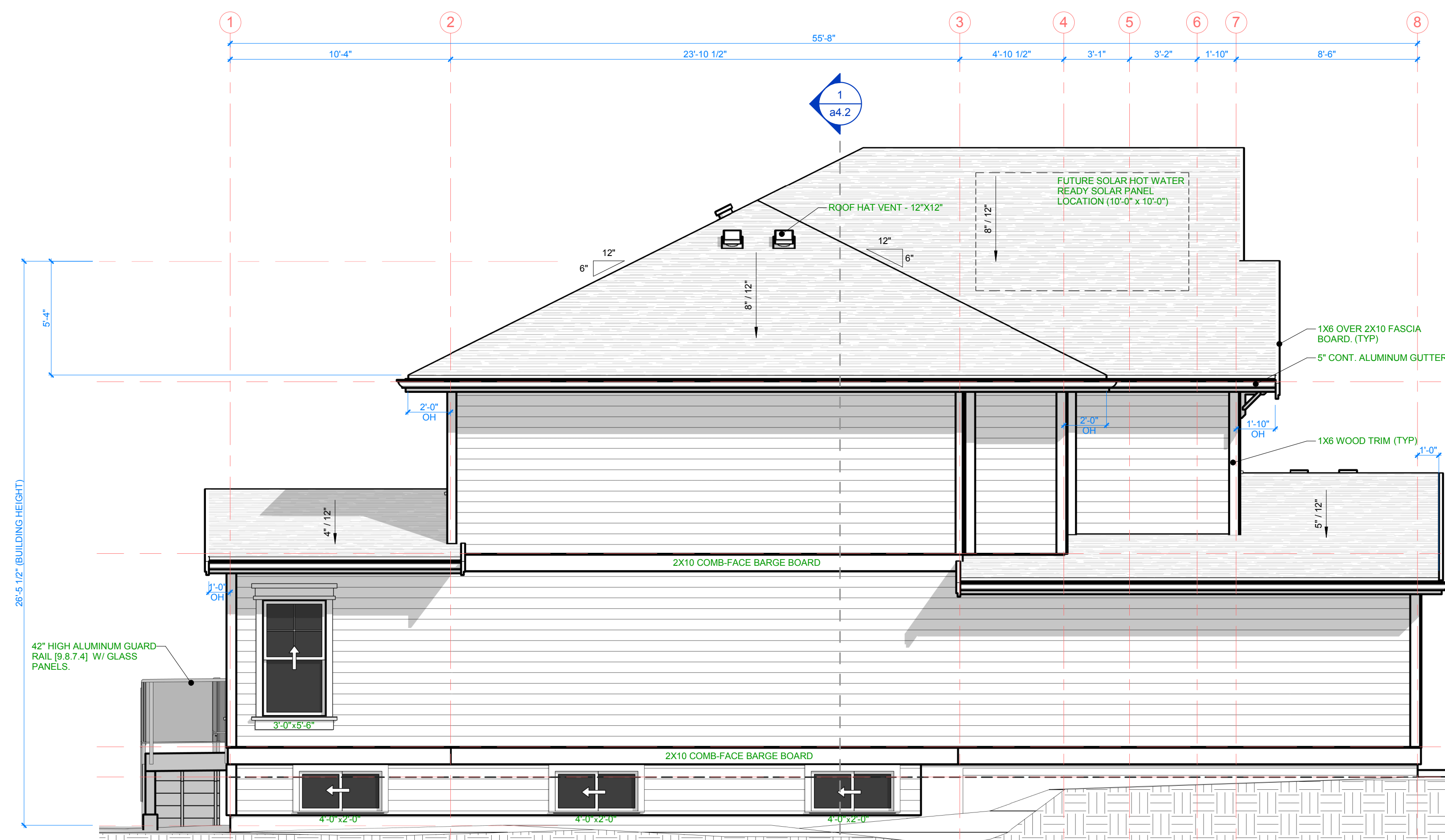
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1 MAIN FLOOR PLAN W/ UPPER FLOOR FRAMING
1/4" = 1'-0"

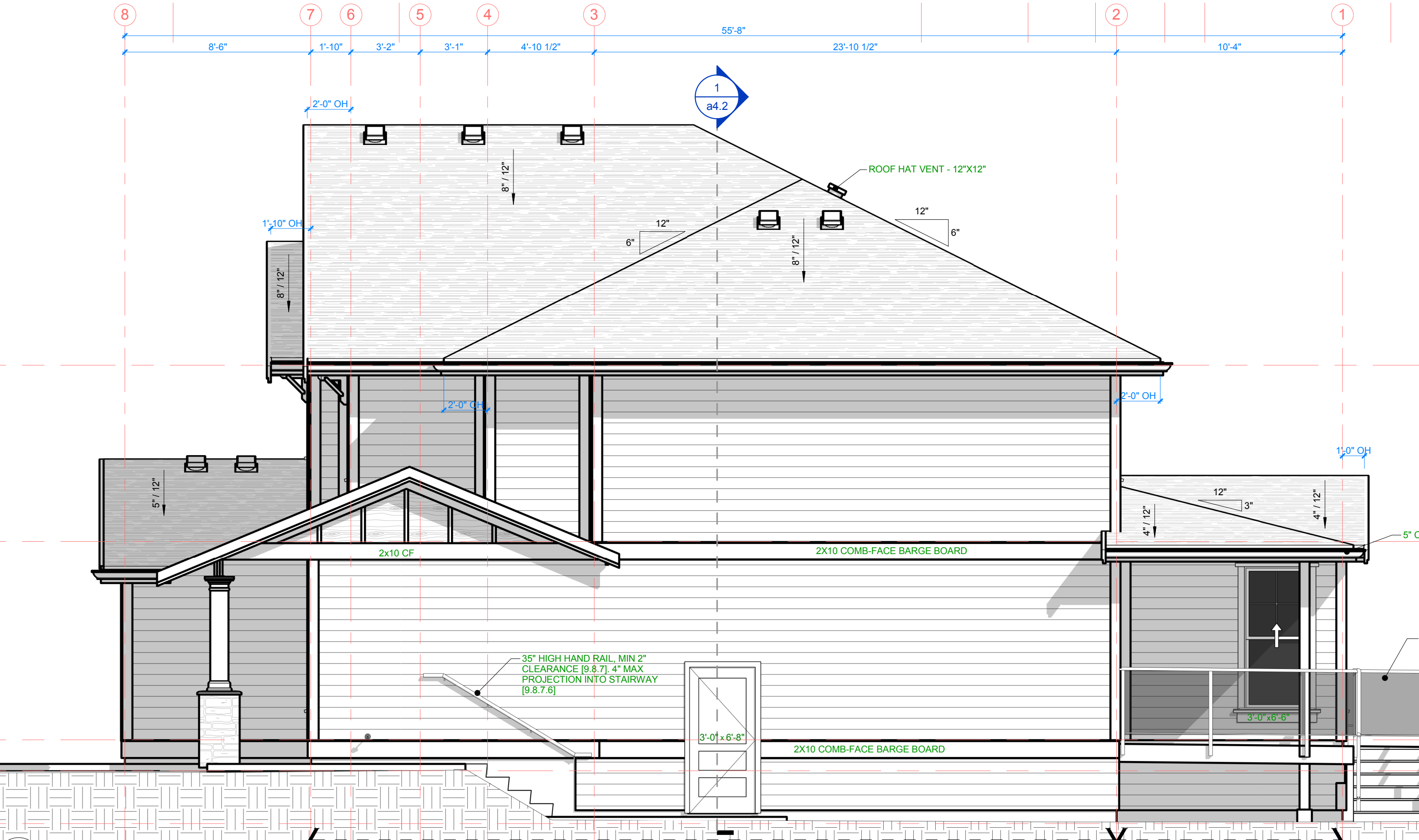


2 UPPER FLOOR PLAN W/ ROOF FRAMING
1/4" = 1'-0"

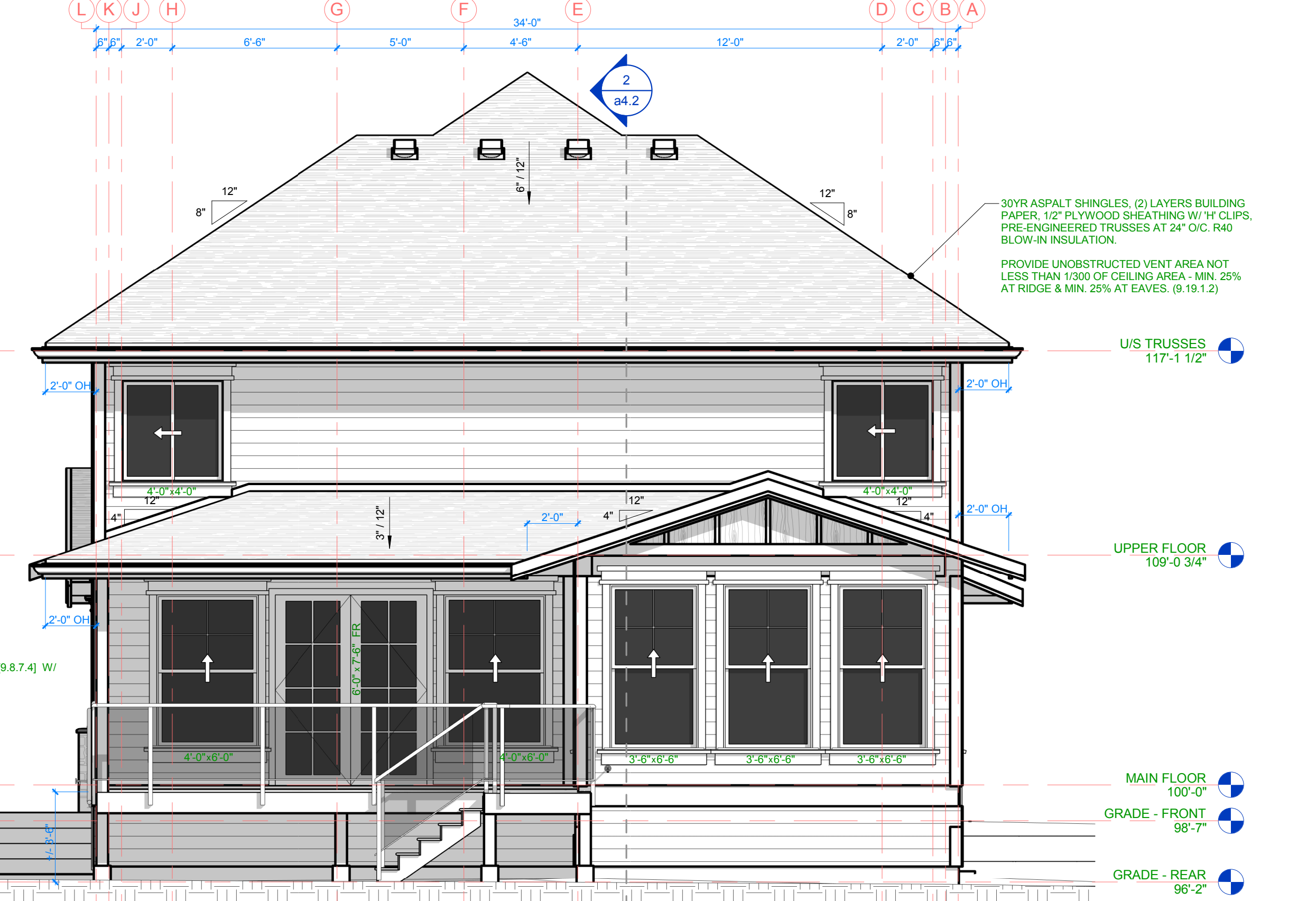


4 LEFT ELEVATION
a3.1 1/4" = 1'-0"

1 FRONT ELEVATION
a3.1 1/4" = 1'-0"



2 RIGHT ELEVATION
a3.1 1/4" = 1'-0"



3 REAR ELEVATION
a3.1 1/4" = 1'-0"

NO.	DRN	CHK	DATE	DESCRIPTION

Ambstep Homes
Lot 3 Collins Drive

PROJECT:

DESIGNER:



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CLIENT ADDRESS:

Ambstep Homes
9240 Young Road,
Chilliwack, BC

PROJECT:

Lot 3 Collins Drive
Chilliwack BC

TITLE:

building elevations

DRN:

JG

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Lot 3 Collins Drive

PROJECT:

DESIGNER:
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CLIENT ADDRESS:
Ambstep Homes
9240 Young Road,
Chilliwack, BC

PROJECT:
Lot 3 Collins Drive
Chilliwack BC

TITLE:
building sections

DRN: JG

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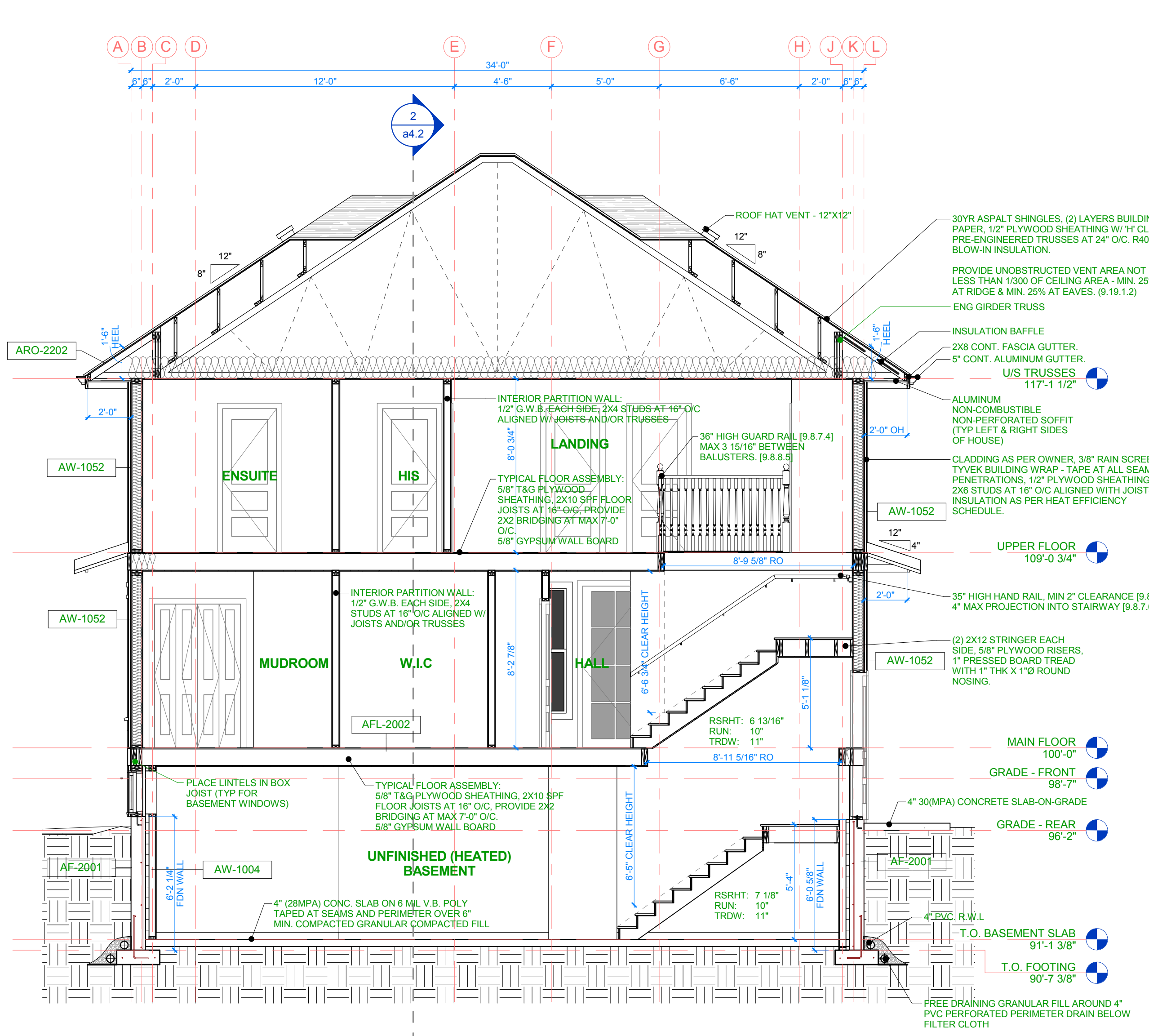
DATE: **APRIL 29, 2015**

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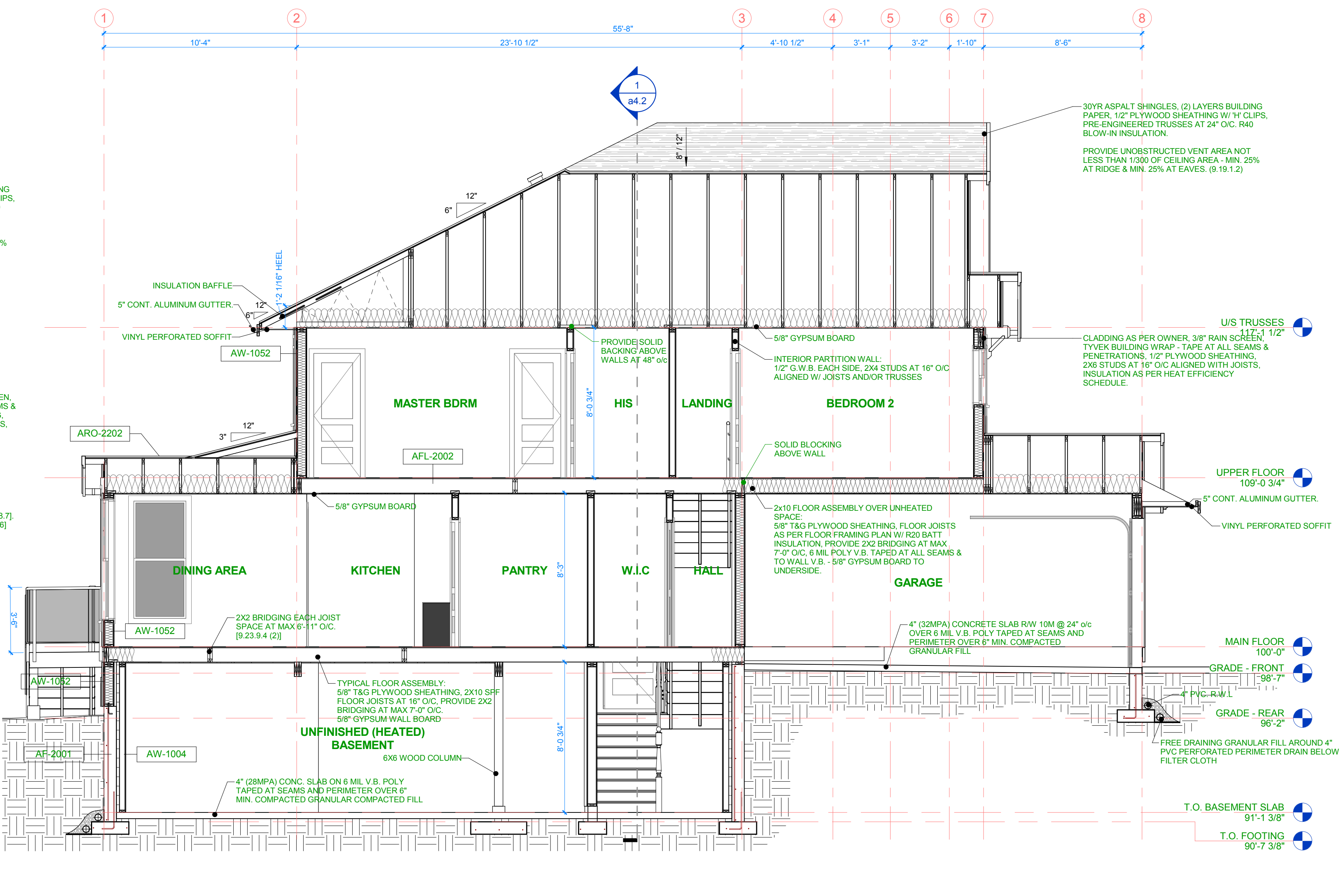
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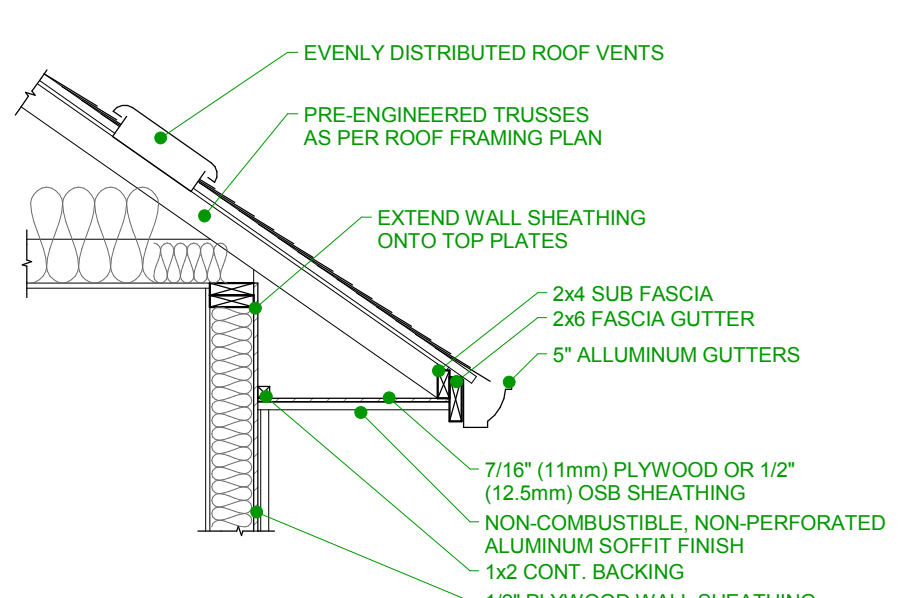
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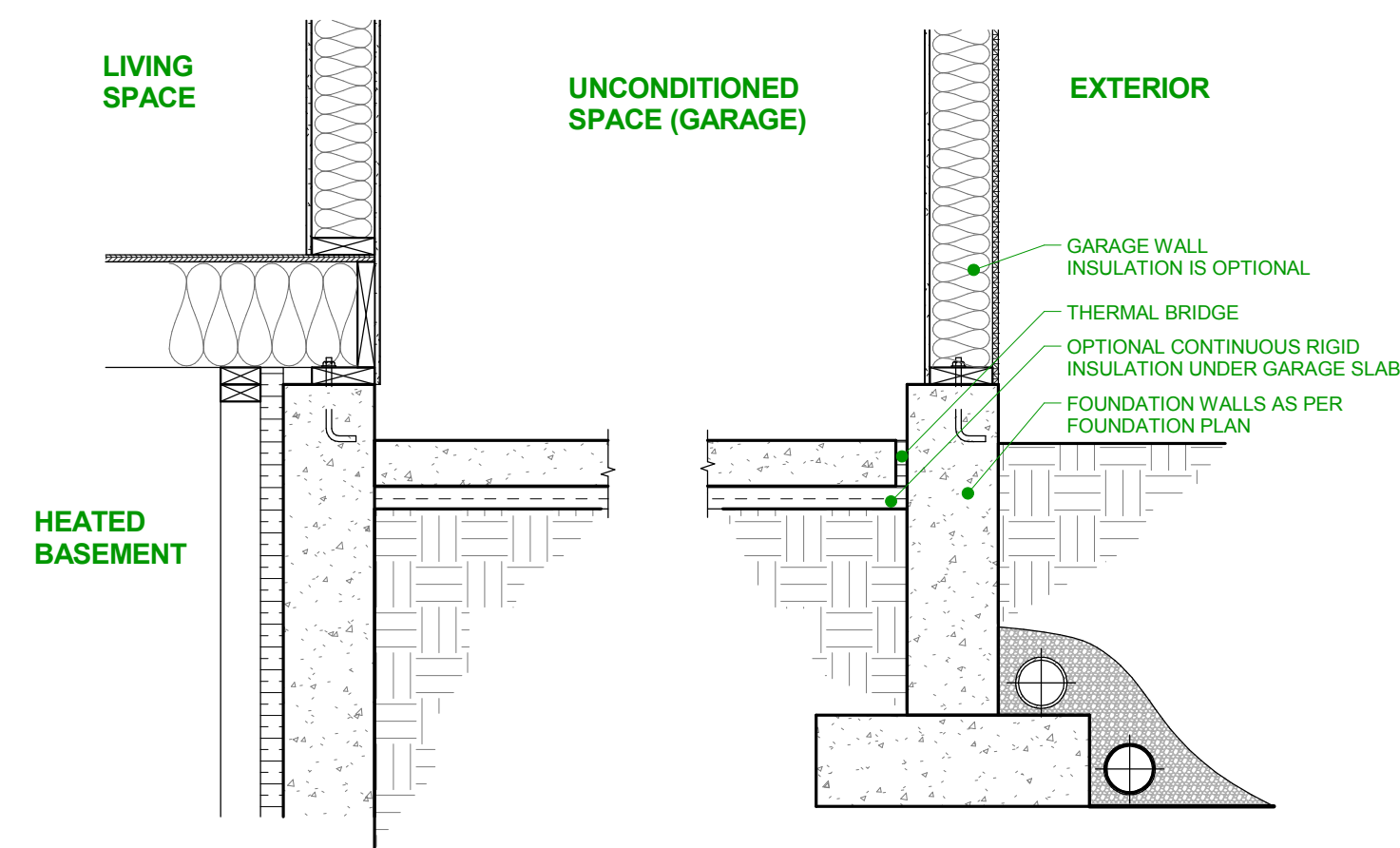
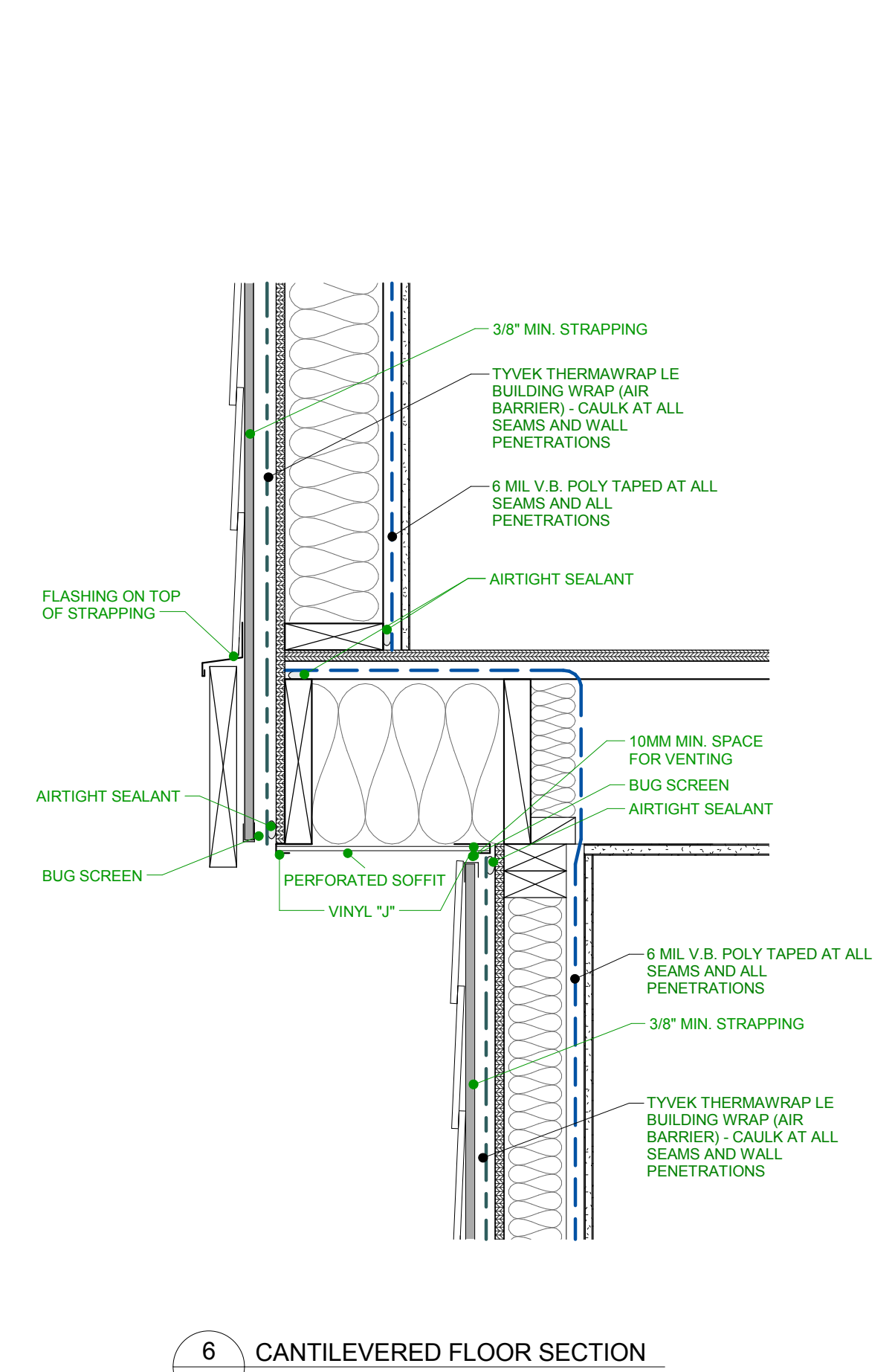
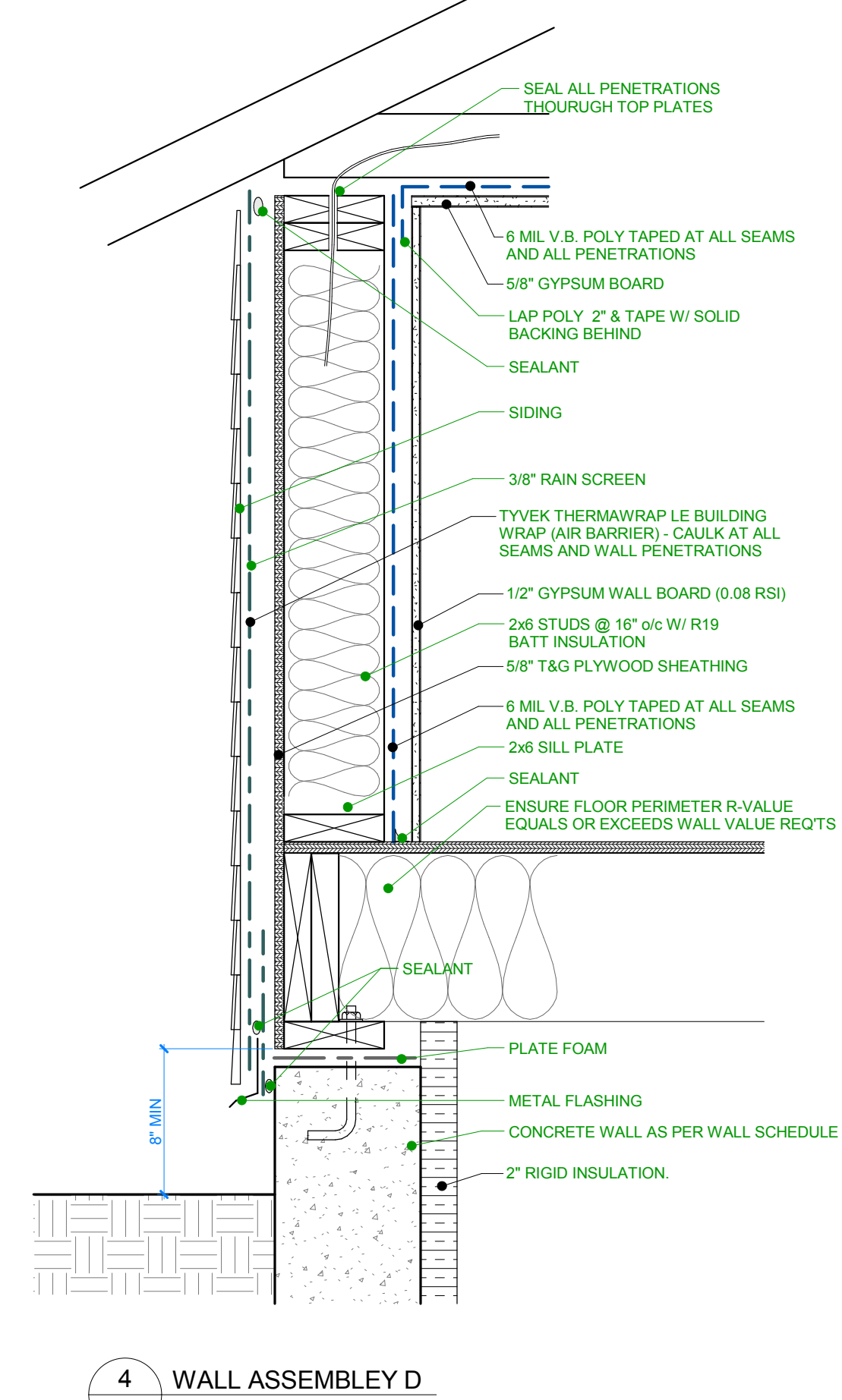
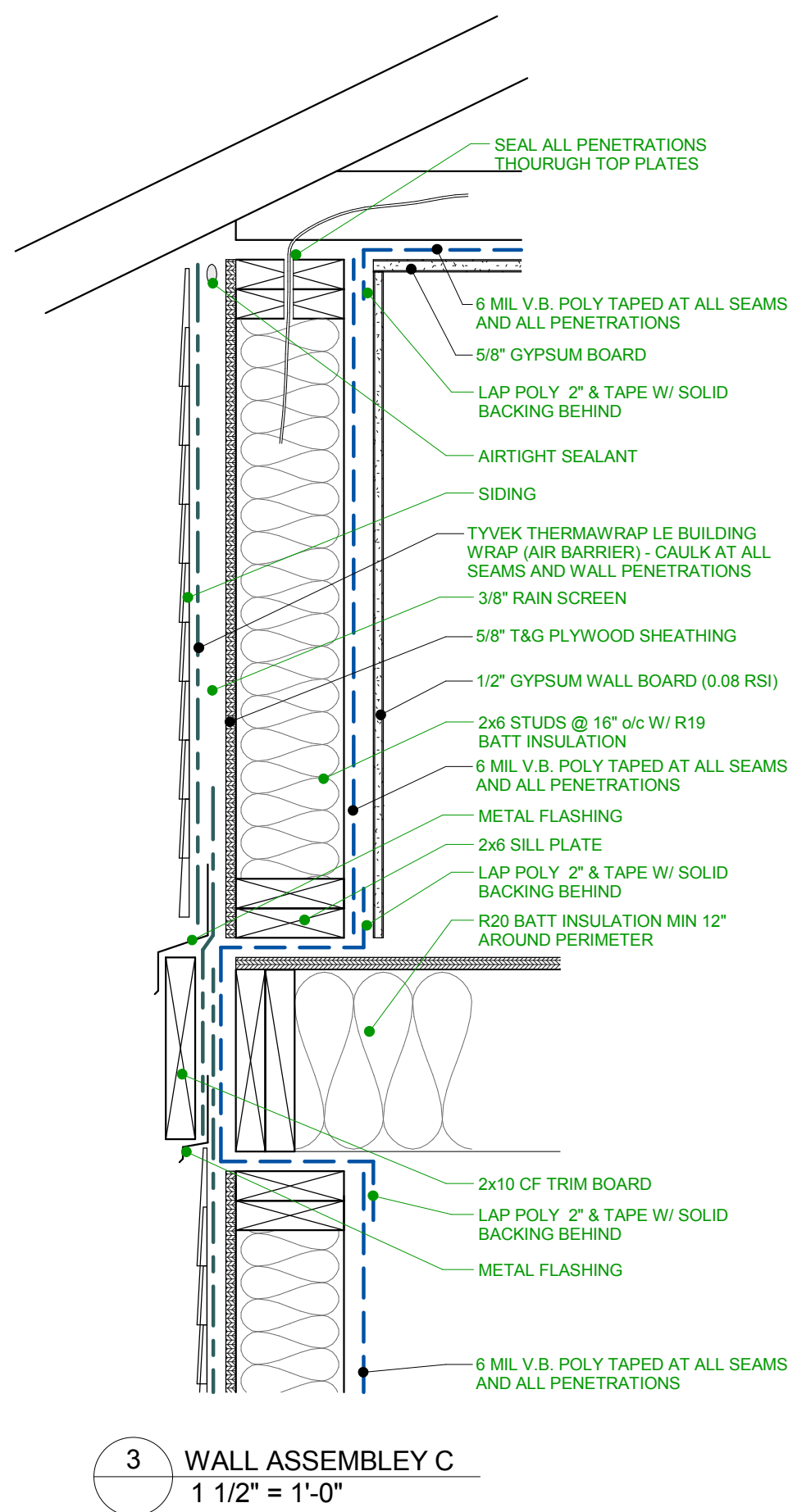
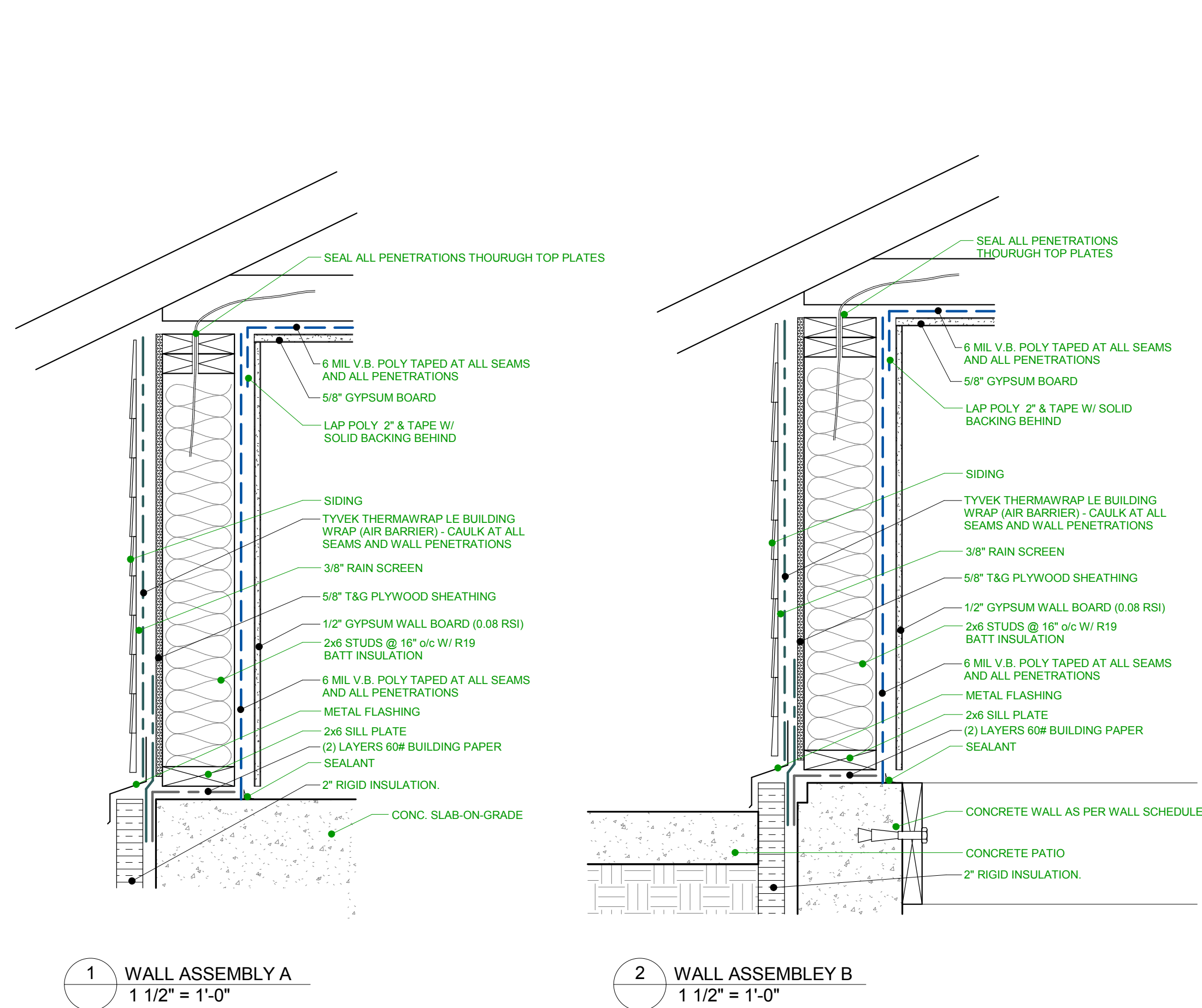
1 BUILDING SECTION A
1/4" = 1'-0"



2 BUILDING SECTION B
1/4" = 1'-0"



3 UNVENTED SOFFIT DETAIL
1/2" = 1'-0"



ENERGY REQUIREMENTS

GENERAL INFORMATION

Zone: 4 < 3000
 Compliance Path: Prescriptive
 Heating Type: Forced air
 Heat - recovery unit: No

Min R Values (Without HRV):

Foundation walls:	RSI 1.99 (R 11.31)
Foundation walls below frost line:	uninsulated
Foundation walls above frost line:	RSI 1.96 (R 11.14)
S.O.G. (integral footing):	RSI 1.96 (R 11.14)
Heated floors:	RSI 2.32 (R 13.18)
Heated floors:	RSI 2.32 (R 13.18)
Unheated floors on permafrost:	uninsulated
Unheated floors above frost line:	RSI 1.96 (R 11.14)
Exterior walls:	RSI 2.78 (R 15.78)
Floors over unheated spaces:	RSI 4.67 (R 26.52)
Heated floors:	RSI 2.32 (R 13.17)
Skylight Shafts:	RSI 2.78 (R 15.8)
Cathedral Ceilings & Flat Roofs:	RSI 4.67 (R 26.5)
Ceilings below attics:	RSI 6.91 (R 39.2)
Skylights:	2.80U
Fenestration & Doors:	1.80U
Door to garage:	RSI 1.1 (R 6.25)
Access hatch:	RSI 2.6 (U 0.46)
Front Doors:	USI 2.6 (U 0.46)
Glass Block:	USI 2.9 (U 0.51)

REQUIREMENTS

- Ducts located outside the thermal enclosure are to be sealed and insulated to the exterior wall insulation requirements.
- Install dampers at air inlets and exhausts where required.
- Piping for heating or cooling systems is located within the thermal enclosure or are fully insulated.
- HVAC equipment is located within thermal enclosure or designated to be installed outside of thermal enclosure.
- Temperature controls are installed on heating and cooling equipment.
- Indoor pools are covered or have an HRV/dehumidifier.
- HVAC and SWH equipment meet minimum performance requirements determined in Tables 9.36.9.10 and 9.36.4.2 of the B.C.C. 2012.
- Service water heating and pipes are insulated at the inlet and outlet of storage tanks.
- Service water heaters have temperature controls.
- Door manufacturers to ensure all exterior doors meet a minimum U value of 1.80.
- Skylight manufacturers to ensure all skylights meet a minimum U value of 2.90.

EXTERIOR WALL SCHEDULE

MATERIAL	TYPE	WALL						FLOOR		ROOF		NOTES
		AW-1009	AW-1052	AW-1055	SW-3020	SW-3001	AF-2001	AF-2006	ARO-2281	ARO-2282		
WALLS												
Interior Air Film												
Exterior Air Film												
Paint - 1 coat latex primer & paint		■	■	■	■	■	■	■	■	■	■	
Foam board - Expanded polystyrene - 1" thk												
Foam board - Extruded Polystyrene - 2" thk												
Foam board - Extruded Polystyrene - 3" thk												
Foam board - Extruded Polystyrene - 4" thk												
Gypsum Wall Board - 1/2" thk		■	■	■	■	■	■	■	■	■	■	
Gypsum Wall Board - 5/8" thk												
Polyethylene (6 mil) vapor barrier		■	■	■	■	■	■	■	■	■	■	
Studs/Joists (2x4) @ 16"oc w/ R14 batt insulation												
Studs/Joists (2x4) @ 24"oc w/ R14 batt insulation												
Studs/Joists (2x6) @ 16"oc w/ R19 batt insulation												
Studs/Joists (2x6) @ 16"oc w/ low density foam												
Studs/Joists (2x6) @ 16"oc w/ medium density foam												
Studs/Joists (2x8) @ 16"oc w/ R28 batt insulation												
Studs/Joists (2x10) @ 16"oc w/ R28 batt insulation												
Concrete - 6" cast-in-place												
Concrete - 8" cast-in-place												based on 150lb/FT ² (R0.065/inch)
Concrete - 10" cast-in-place												based on 150lb/FT ² (R0.065/inch)
Plywood Sheathing - 1/2" thk												
Plywood Sheathing - 5/8" thk												
Plywood Sheathing - 3/4" thk												
OSB Sheathing - 7/16" thk												
Building Paper (60#) (2 layers)												
Building Wrap (60#) (Tyvek ThumaWrap LE)												
Building Wrap (60#) (Tyvek ThumaWrap R5.0)												
EPDM membrane												
Asphalt shingles												
Wood shingles												
Hardi Cladding												
Vynal Cladding (no air space)												based on 1.75" thickness
Cultured Stone												
Brick - fired clay 4" (102mm)2												
TOTAL RSI		2.91	3.16	3.16	1.96	2.0	2.0	4.97		4.77	10.04	
TOTAL R		16.53	17.94	17.94	11.15	11.37	11.37	28.22		27.12	57.06	

NO.	DRN	CHK	DATE

Ambstep Homes
Lot 3 Collins Drive

PROJECT:

DESIGNER:



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CLIENT ADDRESS:

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Chilliwack, BC

PROJECT:

Lot 3 Collins Drive
Chilliwack BC

TITLE:

energy efficiency
requirements

DRN

JG

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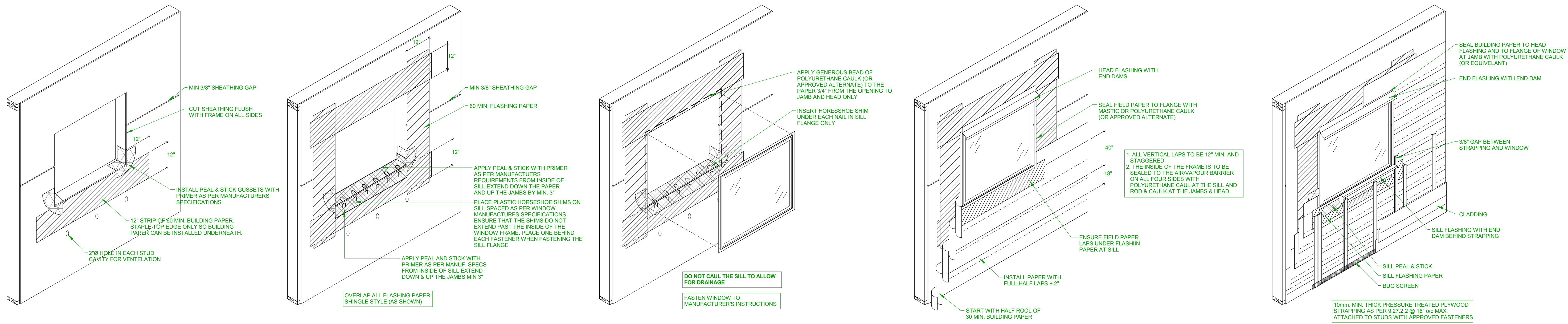
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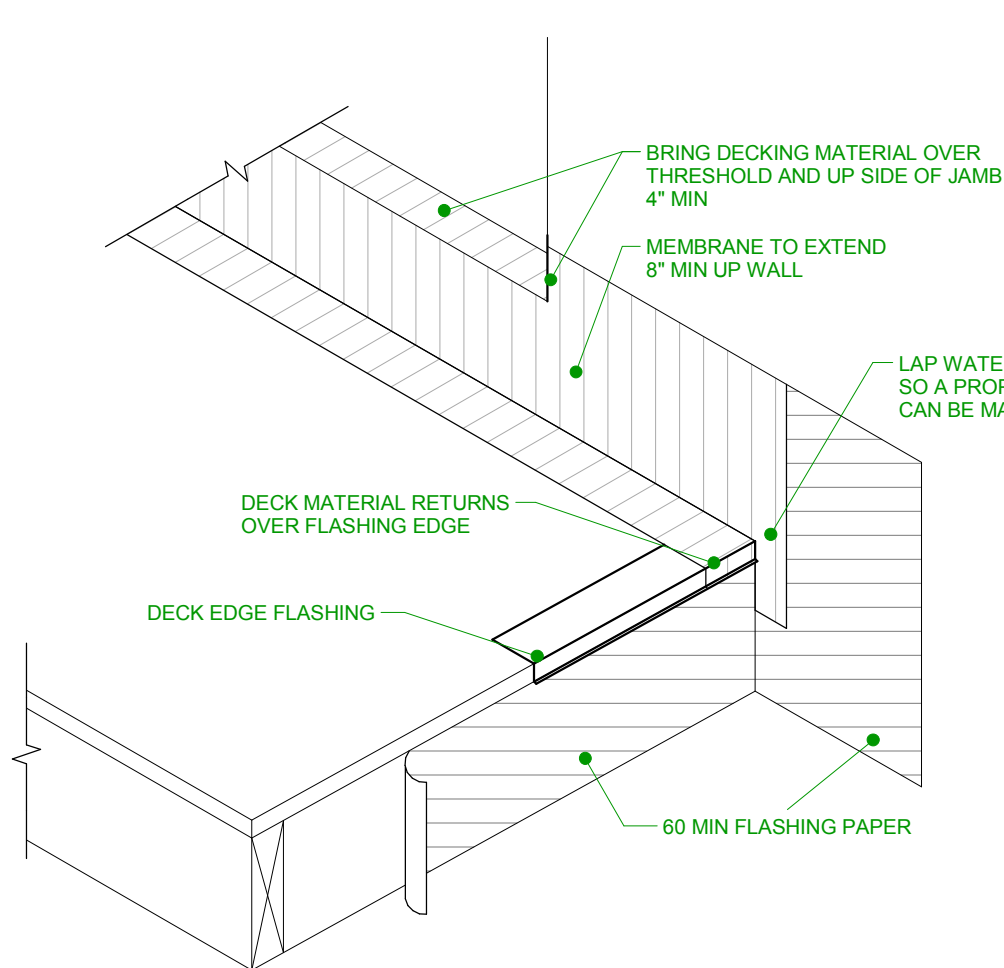
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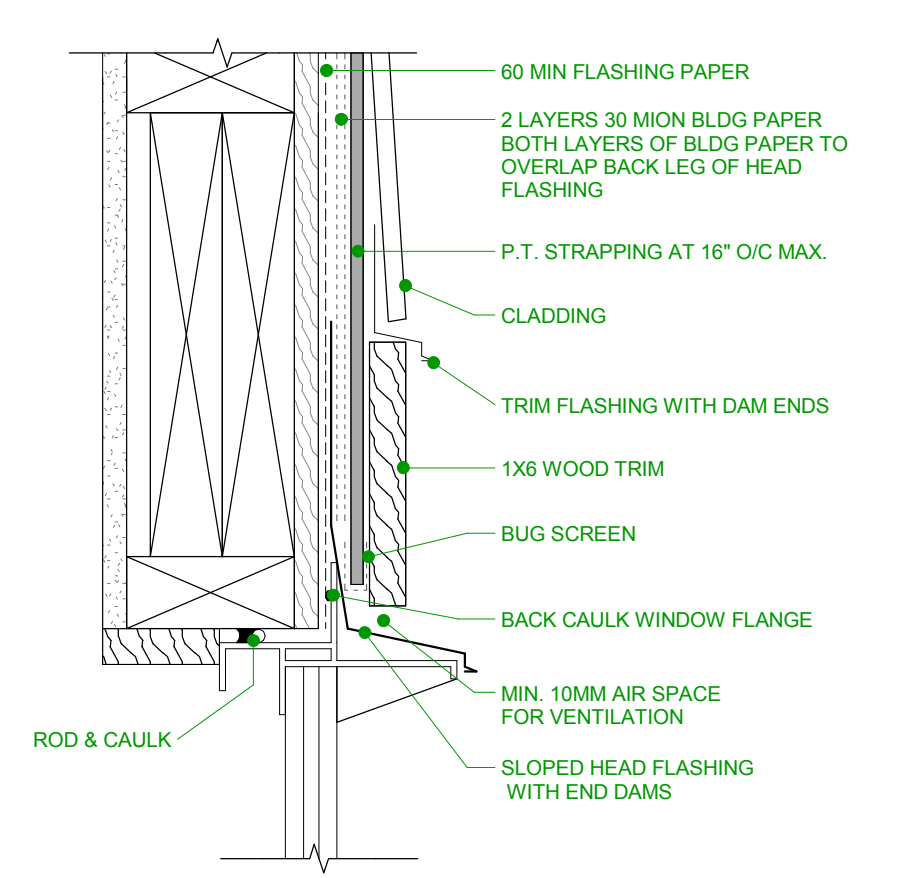
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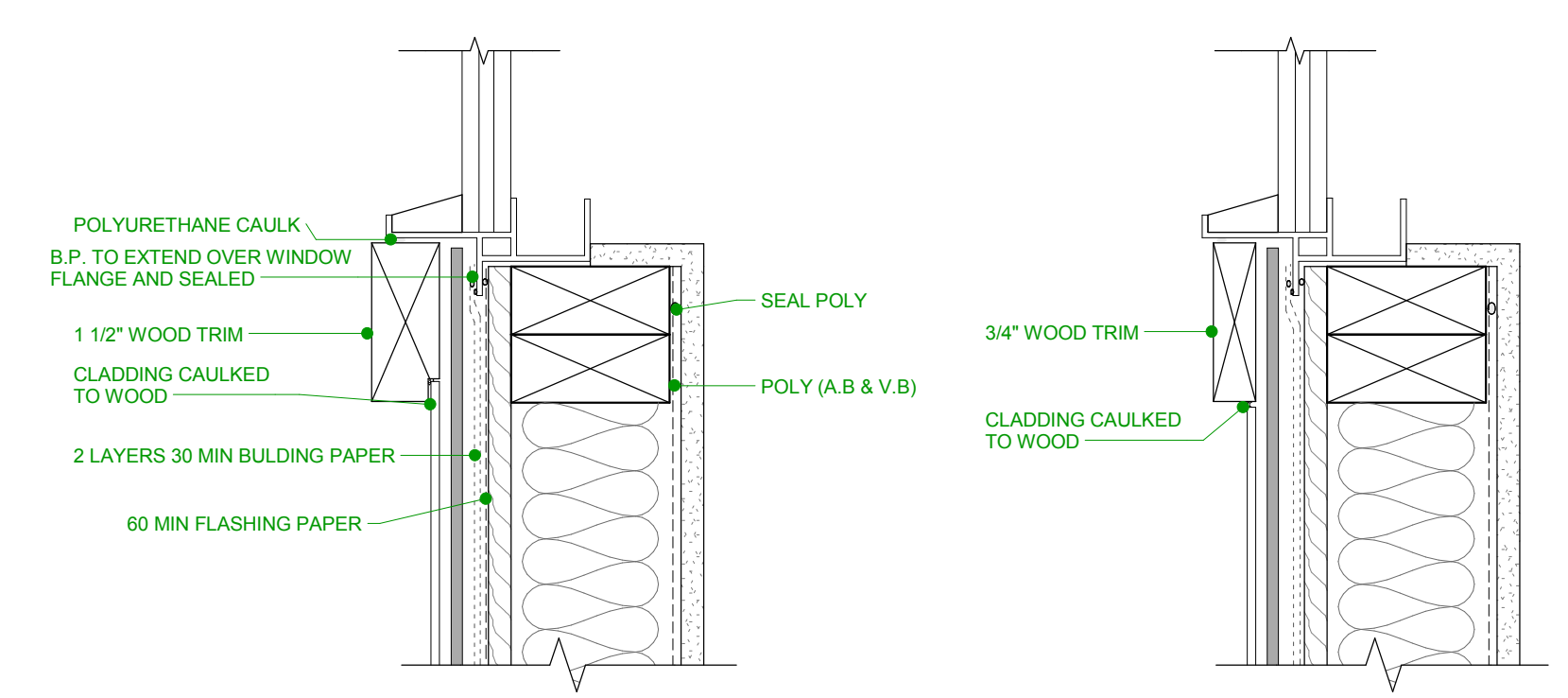
1 RAIN SCREEN DETAILS
1/2" = 1'-0"



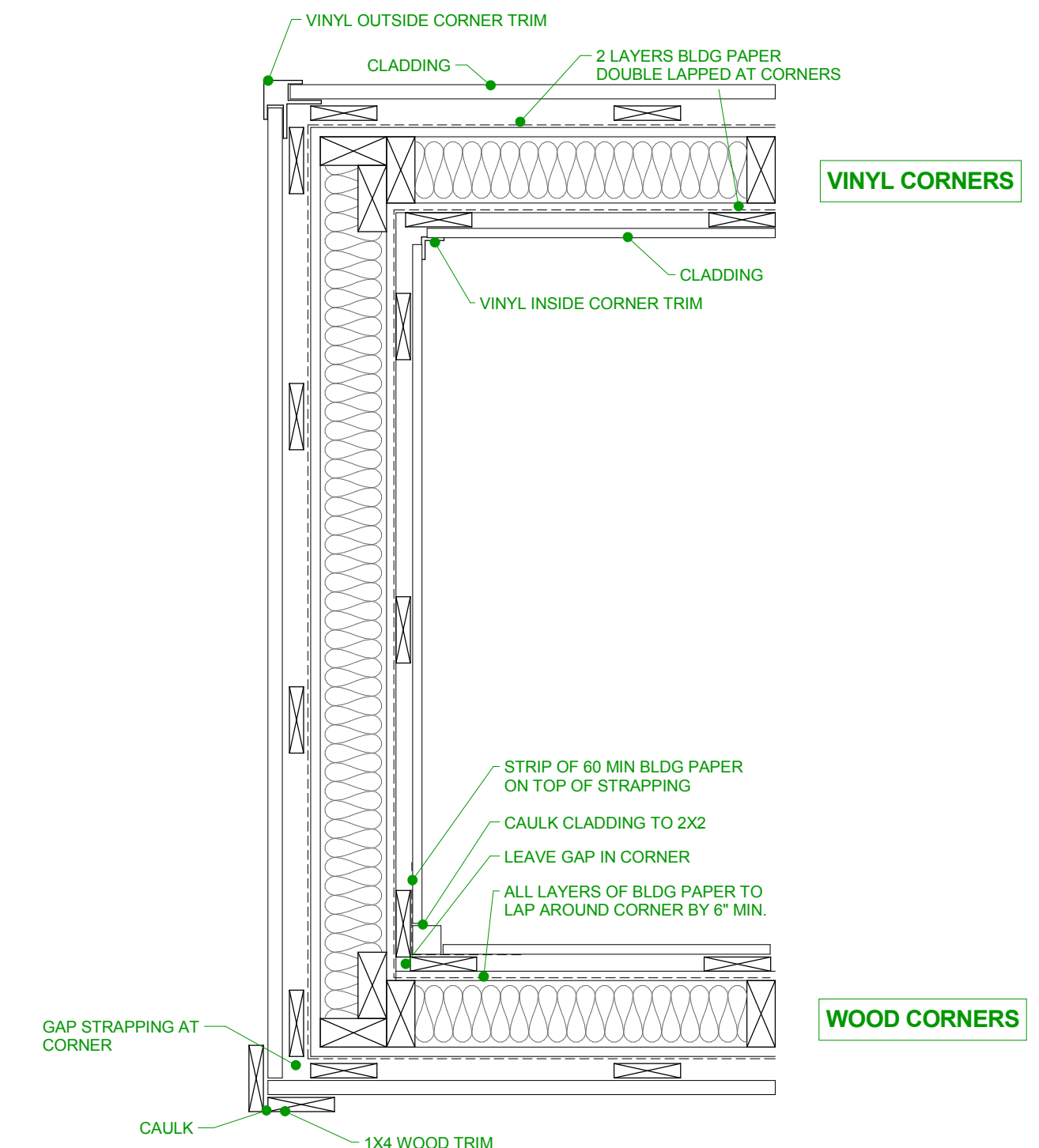
DECK TO WALL
1 1/2" = 1'-0"



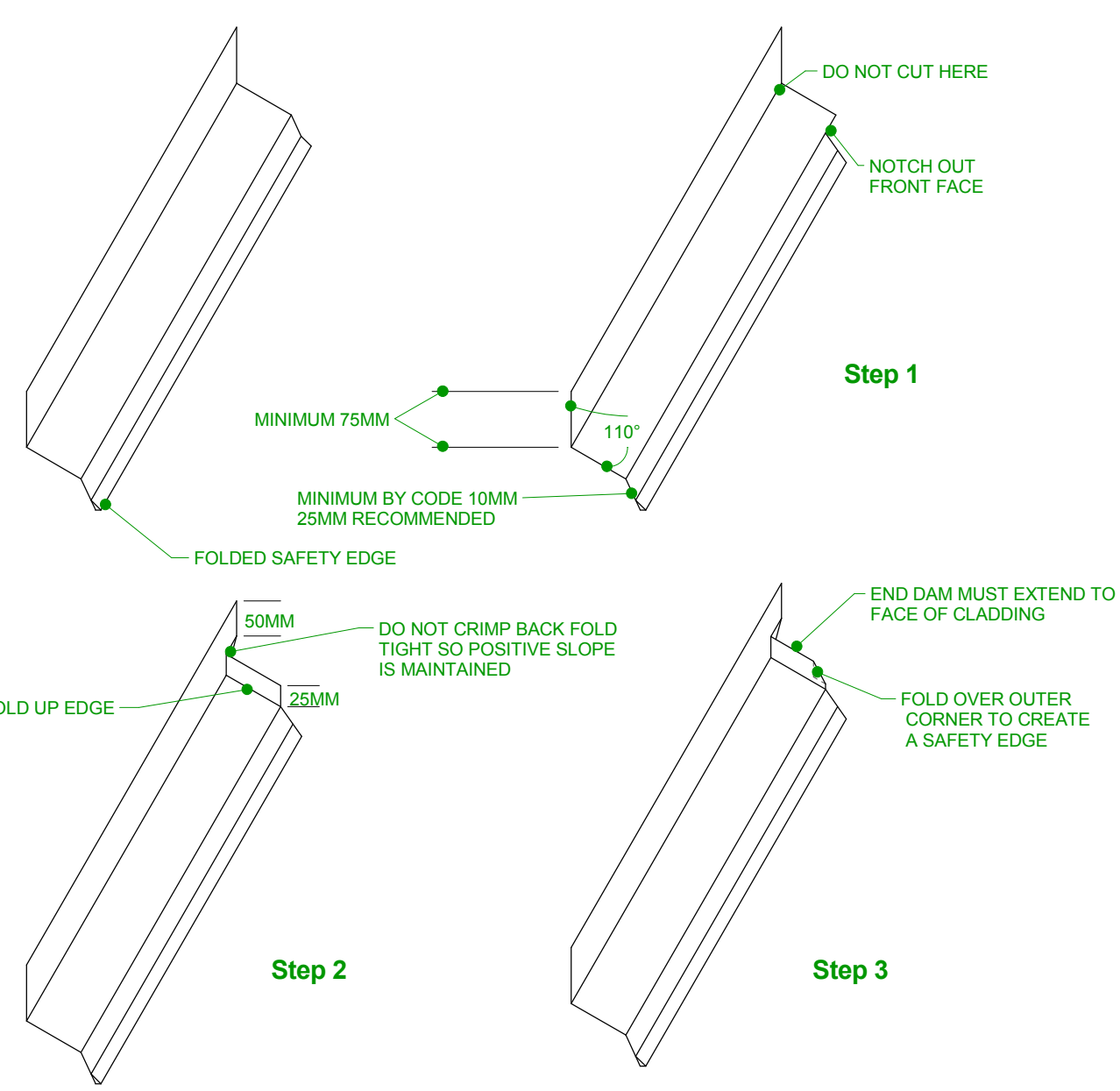
WINDOW HEAD
3" = 1'-0"



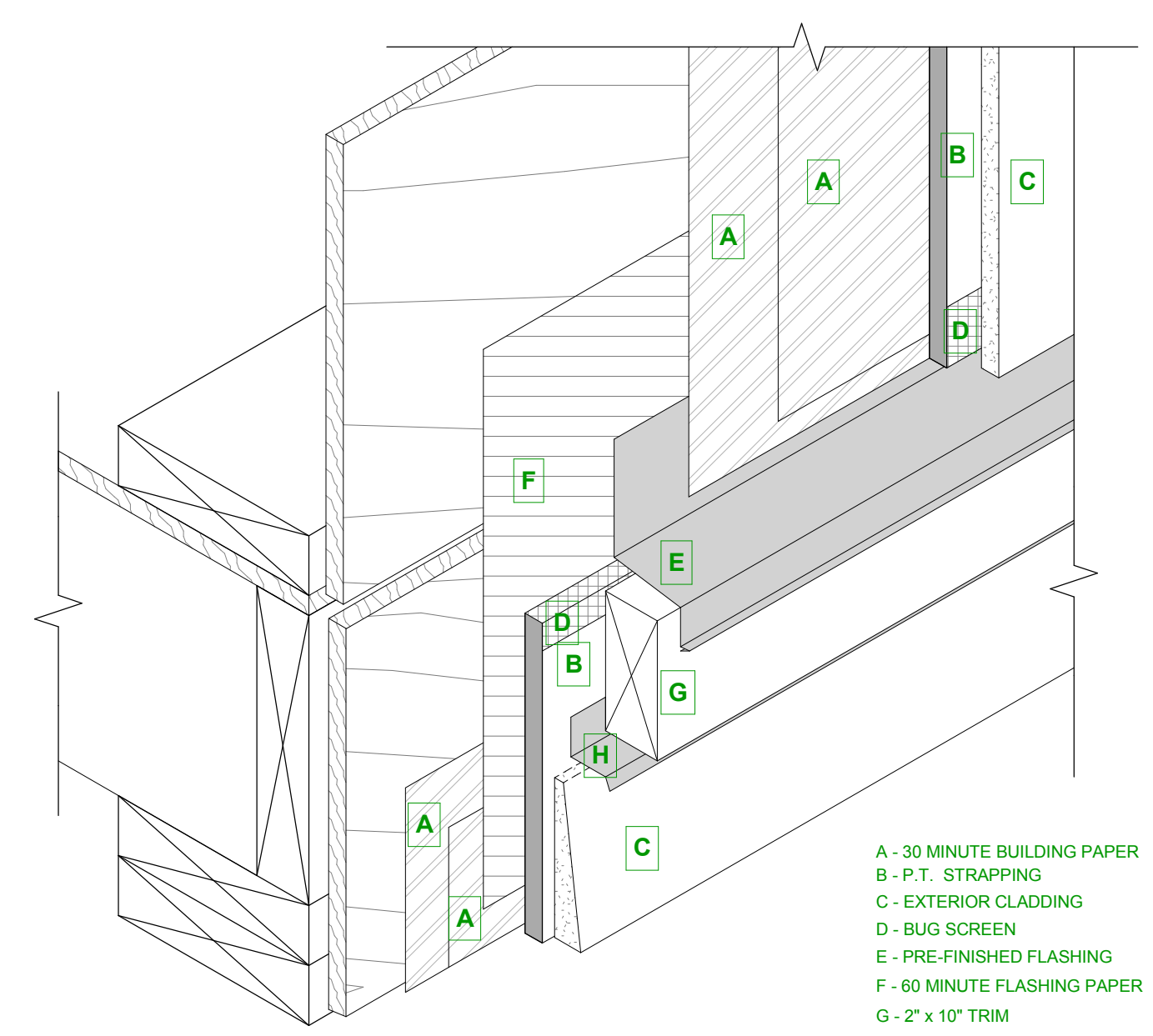
WINDOW JAMB SECTION
3" = 1'-0"



TYPICAL CORNERS
1 1/2" = 1'-0"



HEAD FLASHING WITH END DAM
1" = 1'-0"



THROUGH WALL FLASHING AND BAND BOARD
3" = 1'-0"

REVISION SCHEDULE	
NO.	DATE

Ambstep Homes
Lot 3 Collins Drive

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Chilliwack, BC

PROJECT:
Lot 3 Collins Drive
Chilliwack BC

TITLE:
building envelope details

DRN: JG

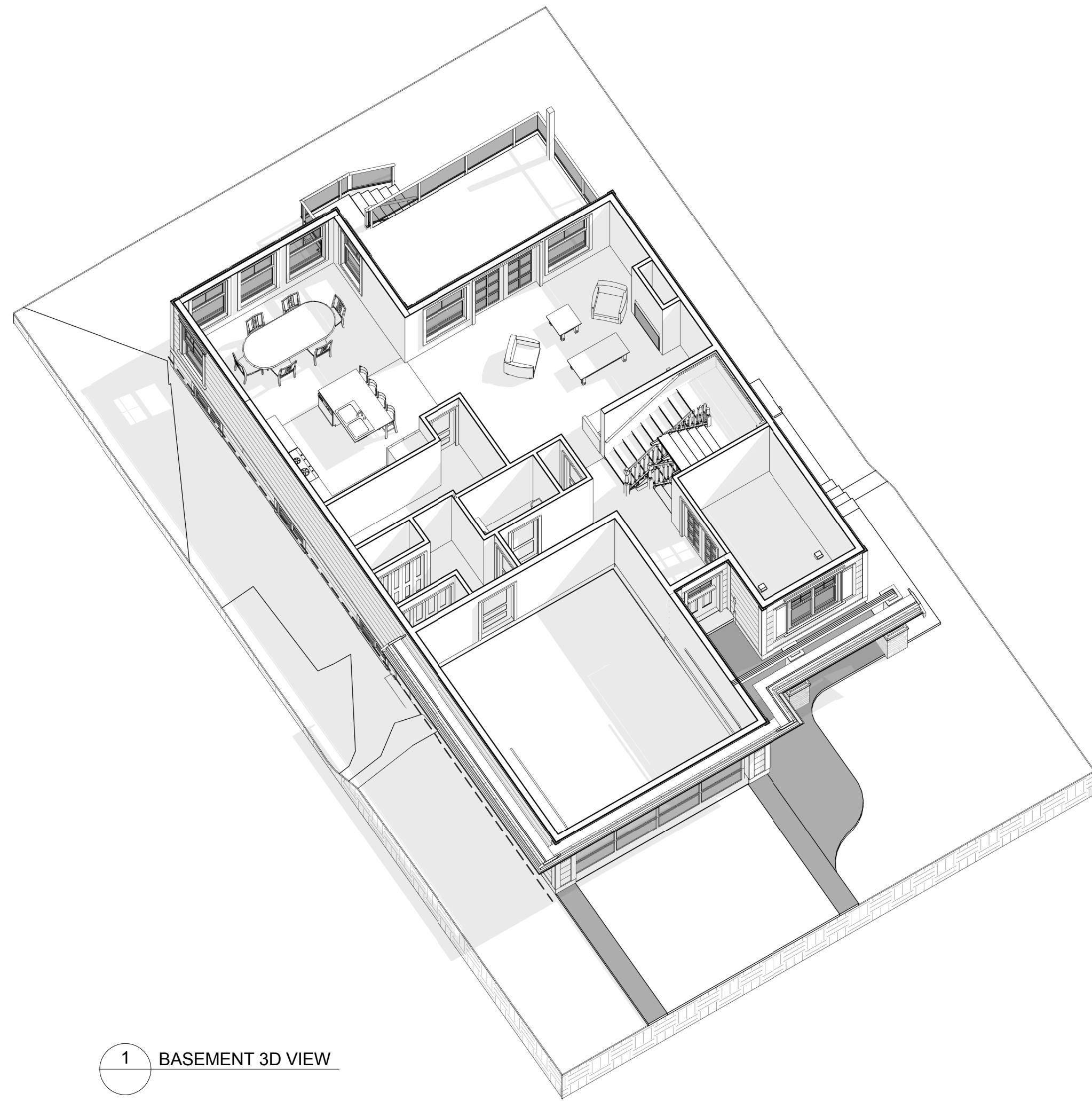
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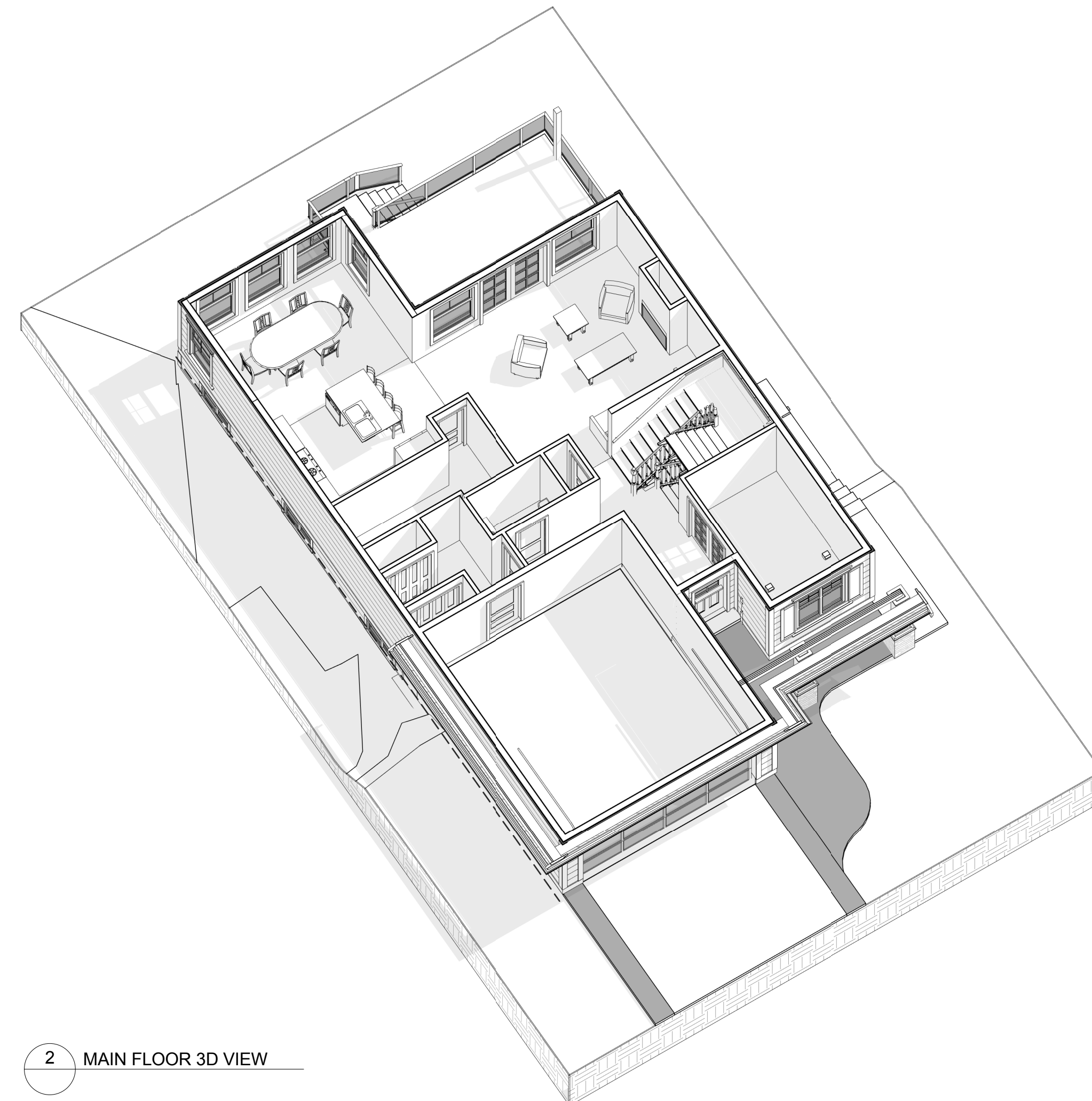
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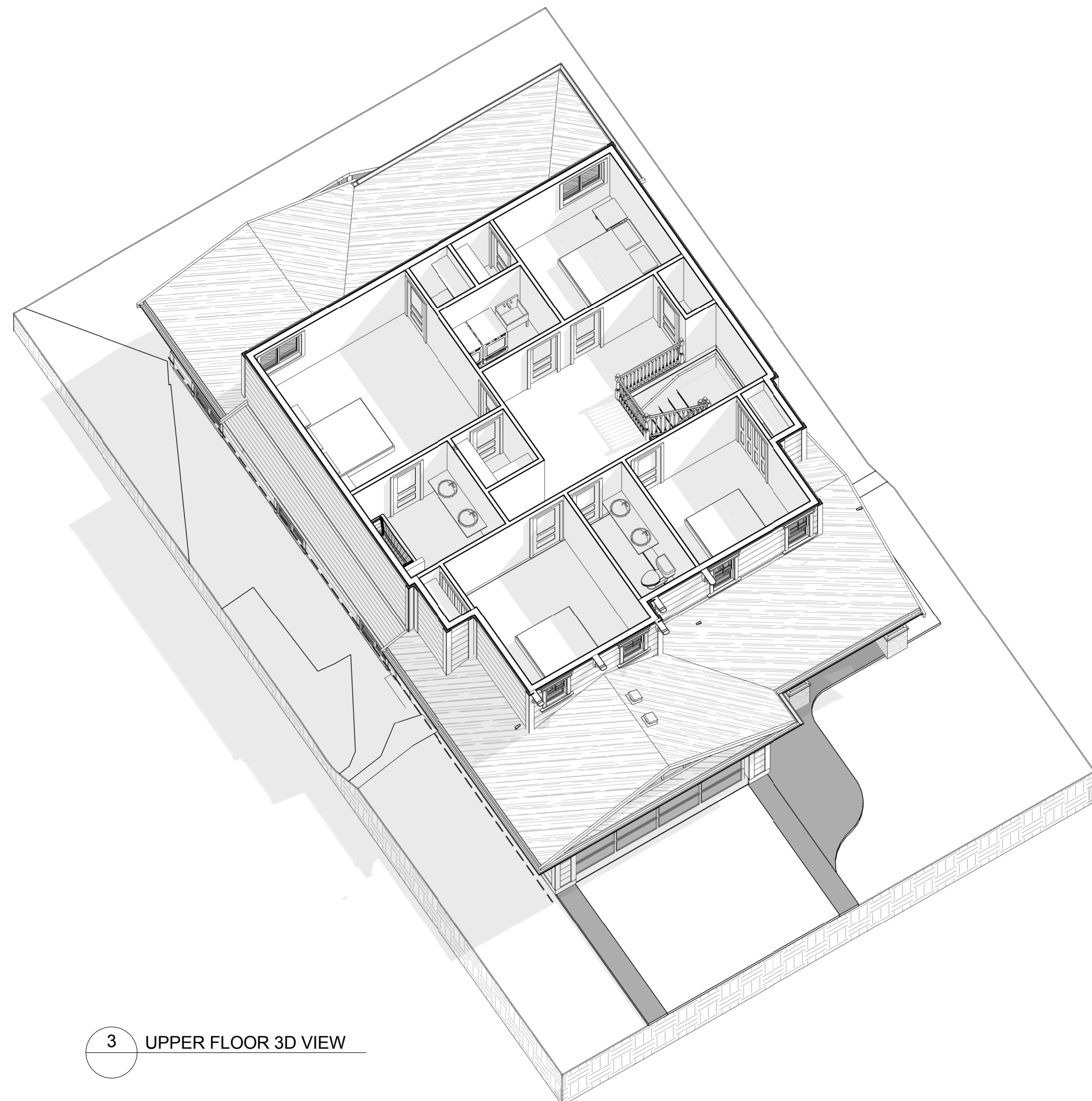
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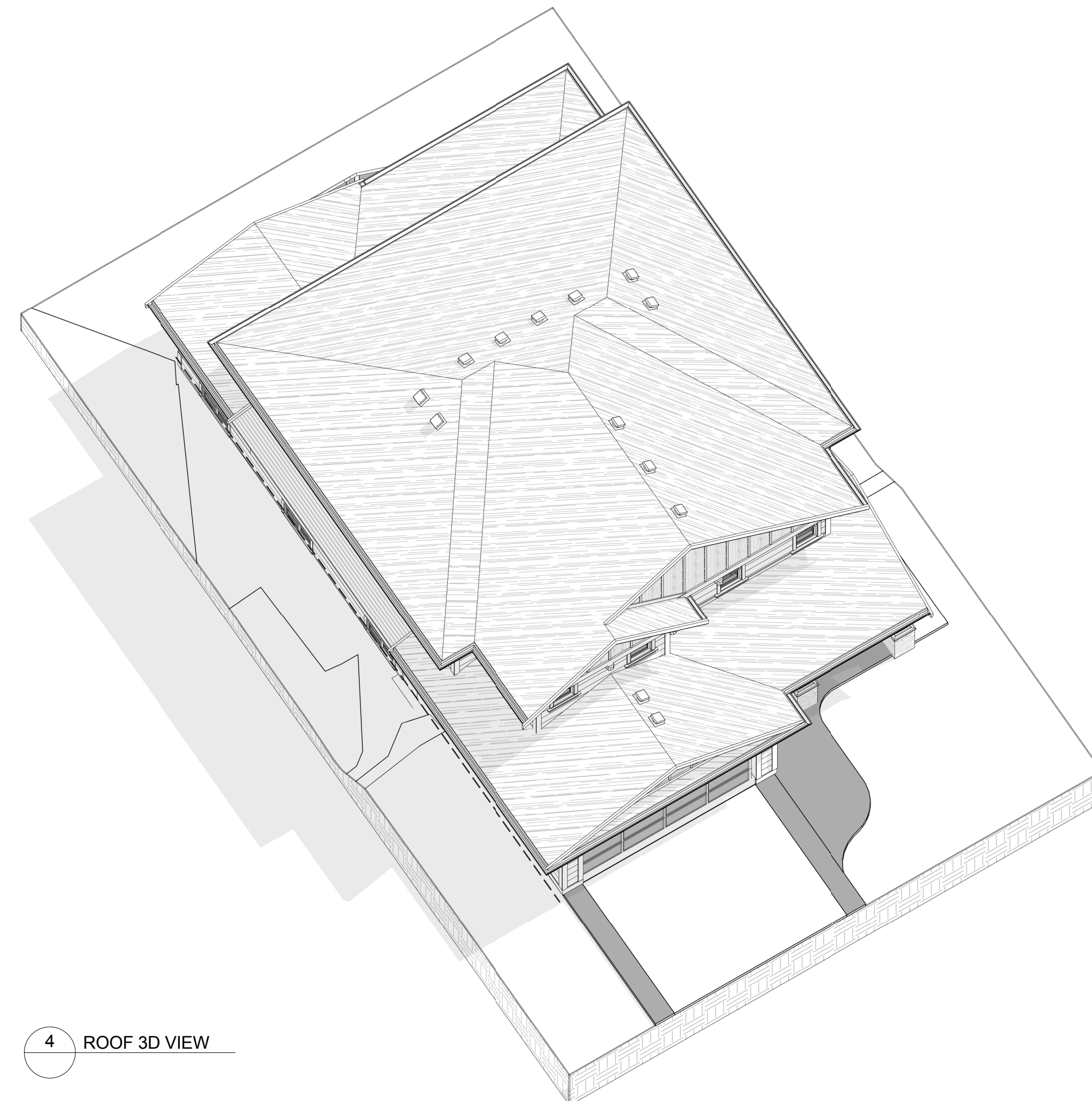
1 BASEMENT 3D VIEW



2 MAIN FLOOR 3D VIEW



3 UPPER FLOOR 3D VIEW



4 ROOF 3D VIEW

REVISION SCHEDULE	
NO.	DESCRIPTION

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TITLE:
3d floor plans

DRN: JG

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issued for building permit