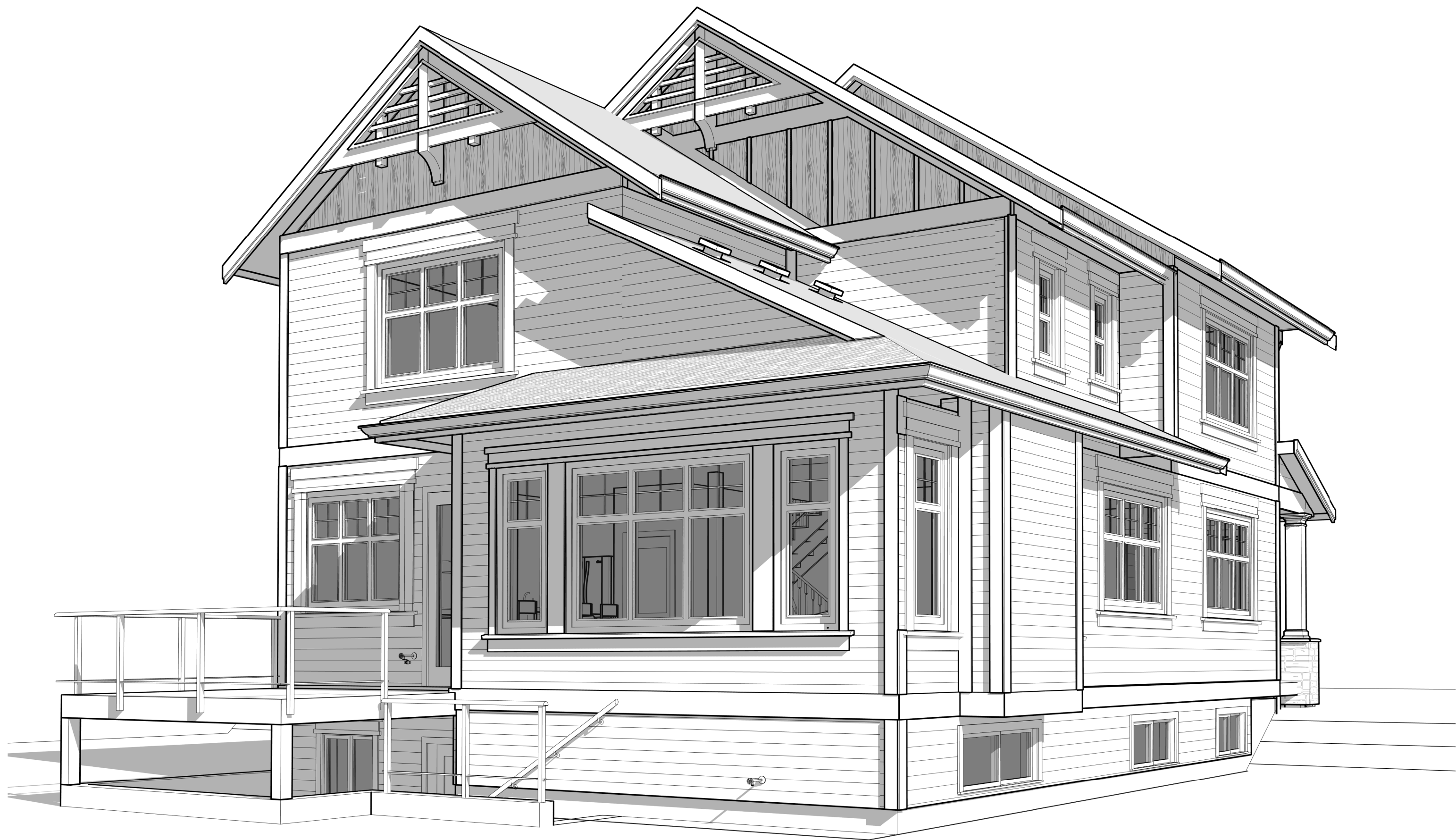




LEFT PERSPECTIVE VIEW



FRONT PERSPECTIVE VIEW



REAR PERSPECTIVE

DRAWING LIST & REVISIONS				
NO.	TITLE	REV#	REV. DATE	REV. DESCRIPTION
a1.1	perspective views			
a2.1	site plan			
a3.1	foundation plan & basement floor plan			
a3.2	main & upper floor plans			
a3.3	roof plan			
a4.1	building elevations			
a5.1	building sections			
a6.1	energy efficiency requirements			
a7.1	3d floor plans			

REVISION SCHEDULE				DESCRIPTION
NO.	DRN	CHK	DATE	

Ambstep Homes  
45905 Collins Drive, BC

DESIGNER:  
**GULIKER**  
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CLIENT ADDRESS:  
Ambstep Homes  
9240 Young Road,  
Chilliwack BC V2P 4R2

PROJECT:  
Lot 1 Collins Drive,  
Chilliwack, BC

TITLE:  
perspective views

DRN: JG

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DATE: April 17, 2015

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a1.1

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A. NOTES

1. These drawings and the ideas contained in them are, and remain, the exclusive property of Guliker Design Group Inc.
2. The Builder shall check and verify all drawings and dimensions for accuracy prior to the commencement of construction
3. Drawings may be scaled, but written dimensions shall take precedence.
4. Construction materials and procedures shall conform to the requirements outlined in the B.C. Building code 2012 edition and all addenda thereto, as well as any applicable local bylaws.
5. The contractor shall take precautions as outlined by the Canadian Construction Safety Code to ensure the Public's safety.
6. The Contractor shall take adequate precautions to store materials properly on site to save them from damage.
7. Where applicable, read these drawings in conjunction with Structural, Mechanical, Electrical, Geotechnical, Civil and shop drawings prepared by other consultants.
8. The contractor shall be responsible for taking out all relevant permits, and shall call for all necessary inspections by the authority having jurisdiction.

B. SITE WORK

1. Slope all finished grades away from the building at a minimum of 1% to facilitate run-off of surface water.
2. The builder shall check and verify all drawings and dimensions for accuracy prior to commencement of construction.
3. Do not drain surface water onto adjacent properties.
4. Graded slopes shall not exceed the natural angle of repose for the type of material being used unless the builder shall take precautions as outlined by the Canadian Construction Safety to ensure the public approved counteracting measures are undertaken.
5. Building site survey is required prior to pouring foundation walls.

C. FOUNDATIONS

1. Footings shall rest on native, undisturbed, inorganic soil below frost penetration.
2. Allow openings in foundations for services as required and to be confirmed before pouring concrete.
3. Do not backfill before floor joists and subflooring are securely in place, or before concrete has reached its 28 day strength.
4. Anchor all plates to foundation with 5/8"Ø X 8" long steel anchor bolts.
5. Protect wood members in contact with concrete with a dampproofing material.

D. FLOORS

1. Provide 2.5" rigid insulation (RSI 2.1) below all unheated concrete slabs above frost line.

E. FRAMING

1. All framing to be in accordance with the B.C. Building code or Structural Engineer.
2. All Engineered PSL, LVL, LSL, etc., Beams and columns to be confirmed confirmed by a Structural Engineer.
3. Contractor shall provide truss shop drawings to Guliker Design Group Inc. for review prior to construction.

F. ROOF

1. Provide 1:300 roof venting - 50% spread evenly around perimeter and 50% at ridge.

G. DOORS/WINDOWS AND VENTILATION

1. All windows and their installation shall comply with NAFS Standard specifications as per 9.7.4 of the 2012 B.C. Building Code
2. Install aluminum flashing over all unprotected exterior wall penetrations.
3. Install screened covers to all vents, ducts, etc., designed to prevent entry of debris, insects, birds, or rain.
4. Install screens to connections between gutters and downspouts (or roof and drains) to prevent entry of debris.
5. Principal ventilation exhaust fan to be provided at a rate of 42 L/s for 380m<sup>2</sup> of floor area and bedrooms as per B.C. 2012. Table: 9.32.3.5

H. BUILDING ENVELOPE

- ALL EXTERIOR ASSEMBLIES MUST MEET, OR EXCEED THE FOLLOWING REQUIREMENTS:

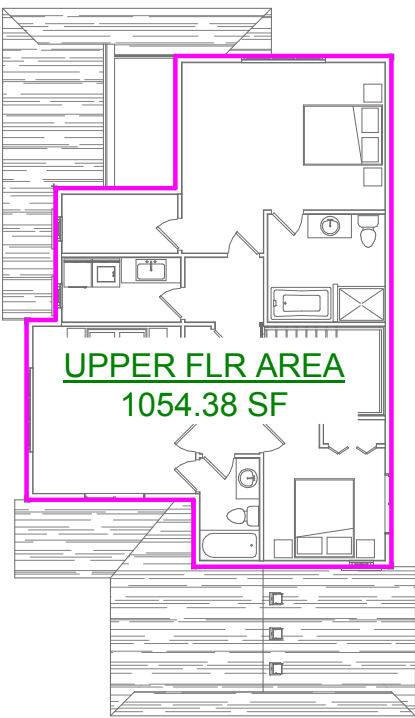
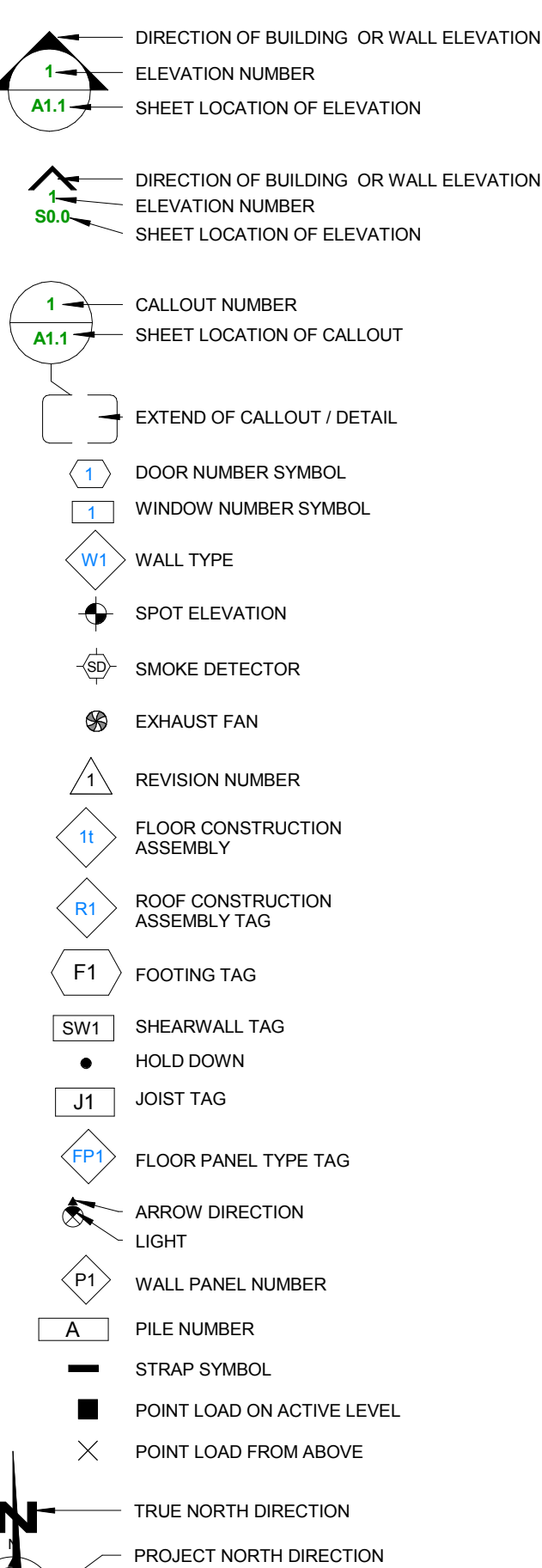
Foundation walls:	RSI 1.99 (R 11.31)
Foundation walls below frost line:	uninsulated
Foundation walls above frost line:	RSI 1.96 (R 11.14)
S.O.G. (integral footing)	RSI 1.96 (R 11.14)
Heated floors:	RSI 2.32 (R 13.18)
Heated floors:	RSI 2.32 (R 13.18)
Unheated floors on permafrost:	uninsulated
Unheated floors above frost line:	RSI 1.96 (R 11.1)
Exterior walls:	RSI 2.78 (R 15.78)
Floors over unheated spaces:	RSI 4.67 (R 26.52)
Heated floors:	RSI 2.32 (R 13.17)
Skylight Shafts:	RSI 2.78 (R 15.8)
Cathedral Ceilings & Flat Roofs:	RSI 4.67 (R 26.5)
Ceilings below attics:	RSI 6.91 (R 39.2)
Skylights:	2.90U
Fenestration & Doors:	1.80U
Door to garage:	RSI 1.1 (R 6.25)
Access hatch:	RSI 2.6 (U 0.46)
Front Doors:	USI 2.6 (U 0.46)
Glass Block:	USI 2.9 (U 0.51)

- Where two planes of insulation are separated by a building envelope assembly, one of the planes of insulation must be extended to overlap four times the thickness of the separation
- A reduction in the thermal resistance of the attic insulation at the perimeter is permitted, provided the insulation is constrained only by the roof slope and venting req'ts and the minimum thermal resistance value above the exterior wall is min R-30 (RSI 16.52)
- Door and window installers to ensure the joints and junctions between walls and other components match the R-value of the lower of the adjoining components.
- The interface between window head jamb/ sill and between doors and skylights must be made airtight by sealing all joints and junctions between the air barrier material in the wall and window.
- All Mechanical, electrical and plumbing components placed within and parallel to an exterior wall are required to be insulated to the effective thermal resistance required for the wall at the projected area of the system component.
- All poliglites and other protrusions through the vapor barrier must be sealed to stop air leakage.
- All joints at the transition between the foundation wall and the above grade wall must be made air-tight by sealing all joints and junctions between the structural components or covering the structural components with an air barrier material.
- Where piping is installed outside the plane of insulation, additional insulation is required to achieve a thermal resistance equivalent to exterior above grade wall requirements defined in 9.36.2 B.C.B.C

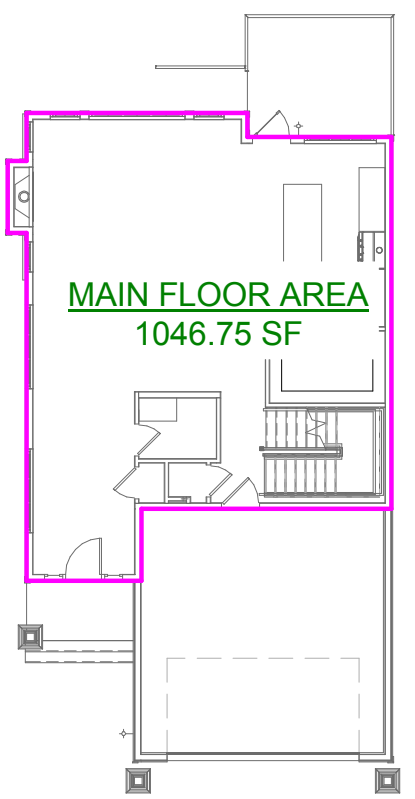
ABBREVIATIONS

45 MIN	-	45 MINUTE	FRP	-	FIBERGLASS REINFORCED PANELS
A-BOLT	-	ANCHOR BOLT	GB	-	GYPSUM BOARD
A.B.	-	ANCHOR BOLT	HA	-	HECTARES
ARCH	-	ARCHITECTURAL DRAWINGS	HC	-	HOLLOW CORE
A-ROD	-	ANCHOR ROD	HDGS	-	HOT DIPPED GALVANIZED STEEL
AC	-	ACRE	H 1 E	-	HOOK ONE END
AD	-	AREA DRAIN	H 2 E	-	HOOK TWO ENDS
ADF	-	ABOVE FINISHED FLOOR	HM	-	HOLLOW METAL
ALUM	-	ALUMINUM	HR	-	HOUR
AN	-	ANODIZED	HW	-	HARDWOOD
AT	-	ACOUSTICAL TILE	HWT	-	HOT WATER TANK
B.U.L	-	BOTTOM UPPER LAYER	lg	-	LONG
B.L.L	-	BOTTOM LOWER LAYER	INS	-	INSULATED
B.W.B	-	BRACED WALL BAND	ISLL	-	INTERIOR SIDE LOT LINE
B.W.P	-	BRACED WALL PANEL	LAM	-	LAMINATE
B.C.B.C.	-	BC BUILDING CODE	LAV	-	LAVATORY SINK
BC	-	BOTTOM CHORD	LL	-	LIVE LOAD
BF	-	BIFOLD DOOR	LLV	-	LONG LEG VERTICAL
BM	-	BEAM	LLH	-	LONG LEG HORIZONTAL
BP	-	BUILDING PAPER	LOC.	-	LOCATIONS
BU	-	BUILT-UP	M	-	METERS
FB	-	FLUSH BEAM	MECH	-	MECHANICAL
DB	-	DROPPED BEAM	MIN	-	MINIMUM
ESLL	-	EXTERIOR SIDE LOT LINE	MTL	-	METAL
LSL	-	LAMINATED STRAND LUMBER	N/A	-	NOT APPLICABLE
PSL	-	PARALLEL STRAND LUMBER	No.	-	NUMBER
LVL	-	LAMINATED VENEER LUMBER	o/c	-	ON CENTRE
GL	-	GLULAM	O.C	-	ON CENTRE
T.U.L	-	TOP UPPER LAYER	O/H	-	OVERHEAD
T.L.L	-	TOP LOWER LAYER	PEMB	-	PRE-ENGINEERED METAL BUILDING
CSINK	-	COUNTER SINK	PD	-	POCKET DOOR
CHL	-	CHAIN LINK	PL	-	PROPERTY LINE
CHLG	-	CHAIN LINK GATE	P.O	-	POST OVER
CMU	-	CONCRETE MASONRY UNIT	P.T.	-	PRESSURE TREATED
CONC.	-	CONCRETE	REQT	-	REQUIREMENT
CP	-	COMPLETE PENETRATION	RD	-	ROOF DRAIN
CPT	-	CARPET	RLL	-	REAR LOT LINE
CPTT	-	CARPET TILE	R/W	-	REINFORCED WITH
CT	-	CERAMIC TILE	R.O	-	ROUGH OPENING
c/w	-	COMPLETE WITH or COMES WITH	R/S	-	ROD AND SHELF
DD	-	DECK DRAIN	SD	-	SMOKE DETECTOR
DIA.	-	DIAMETER	SM	-	SQUARE METERS
DL	-	DEAD LOAD	S.O.G	-	SLAB ON GRADE
DN	-	DOWN	STRUCT	-	STRUCTURAL
DWG	-	DRAWING	SOFT	-	SQUARE FEET/FOOT
DWGS	-	DRAWINGS	SST	-	SIMPSON STRONG TIE
EIS	-	EACH SIDE	SW	-	SHEAR WALL
EE	-	EACH END	T&G	-	TONGUE AND GROOVE
EA	-	EACH	thk	-	THICK
EC	-	EPOXY COATING	TYP	-	TYPICAL
EG	-	EXISTING GRADE	UN.	-	UNLESS NOTED
ECB	-	EXISTING GYPSUM BOARD	UNO	-	UNLESS NOTED OTHERWISE
ELEC	-	ELECTRICAL	US	-	UNDERSIDE
EWP	-	EXISTING WALL PANEL	VB	-	VAPOR BARRIER
EXTG	-	EXISTING	W/	-	WITH
EXP	-	EXPOSED	( )	-	QUANTITY
EXT.	-	EXTERIOR			
FD	-	FLOOR DRAIN			
FG	-	FINISHED GRADE			
FLL	-	FRONT LOT LINE			
F.P.	-	FROST PROTECTION			

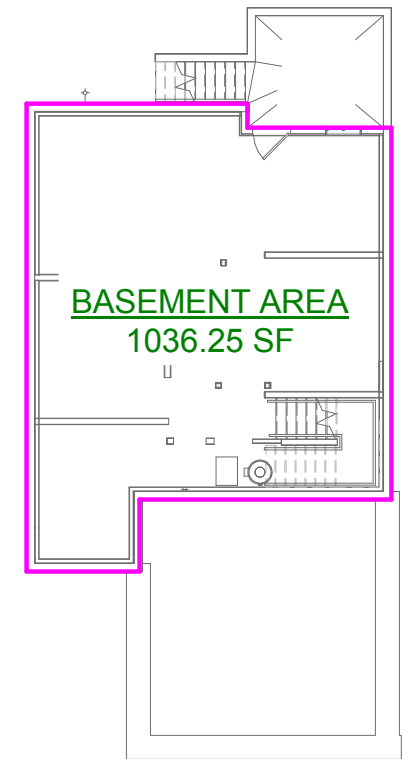
DRAWING LEGEND SYMBOLS



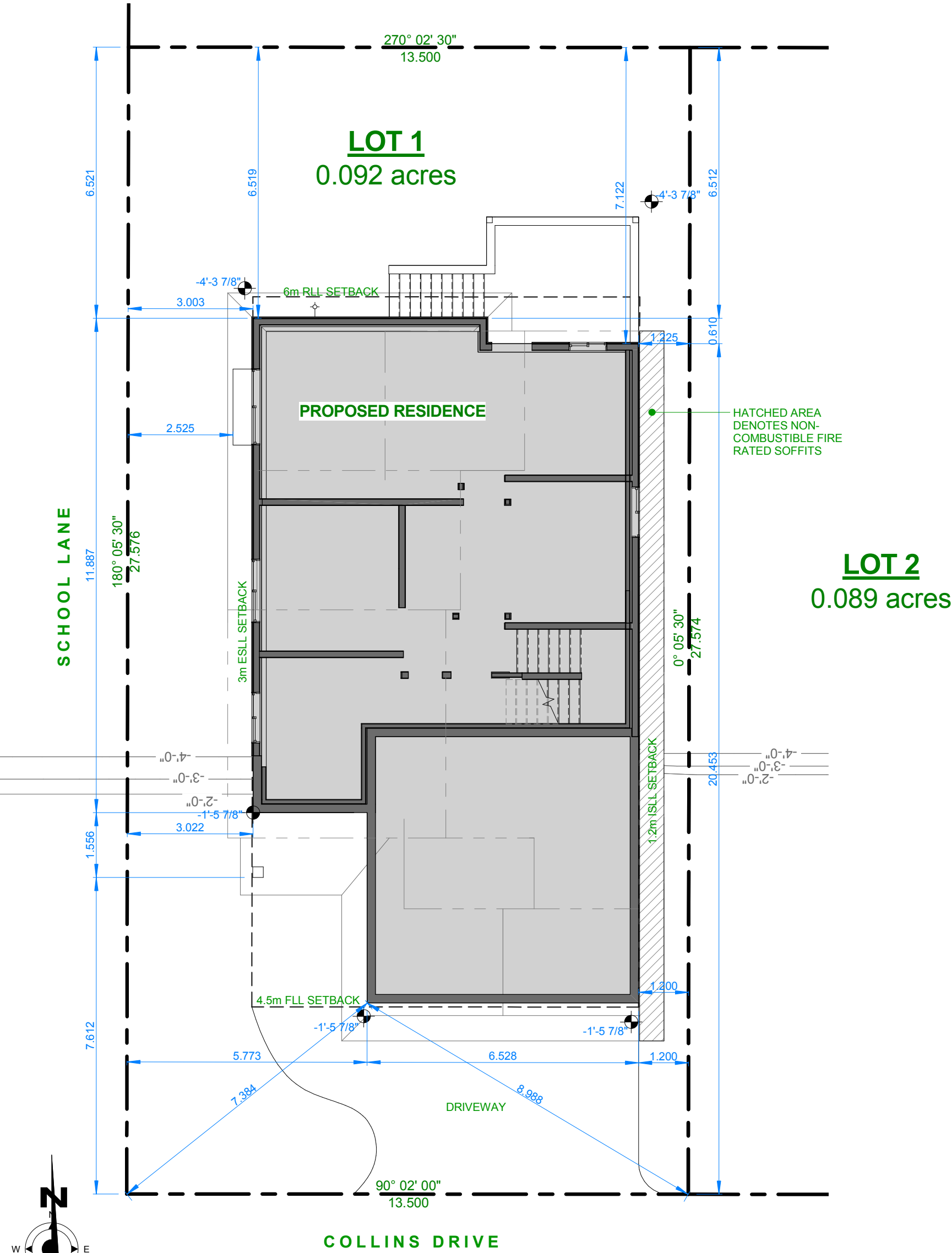
A UPPER FLOOR AREA PLAN  
a4.1 1/16" = 1'-0"



B MAIN FLOOR AREA PLAN  
a4.1 1/16" = 1'-0"



C BASEMENT AREA  
a5.1 1/16" = 1'-0"



1 SITE PLAN  
a4.1 1 : 100

BUILDING SITE SURVEY REQUIRED PRIOR TO  
POURING FOUNDATION WALLS

#DESCRIPTION

REVISION SCHEDULE

TWO: DRN CHK DATE

PROJECT:

DESIGNER:

CLIENT ADDRESS:

PROJECT:

TITLE:

DRN:

DATE:

SHEET NUMBER:

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P15016

Ambstep Homes  
45905 Collins Drive, BC

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info@guliker.ca

Lot 1 Collins Drive,  
Chilliwack, BC

site plan

JG

April 17, 2015

a2.1

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ER:



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Ambstep Homes  
9240 Young Road,  
Chilliwack BC V2P 4R2

PROJECT:

Lot 1 Collins Drive,  
Chilliwack, BC

TITLE:

**foundation plan &  
basement floor plan**

DRN:

JG

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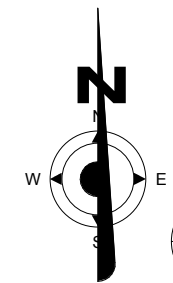
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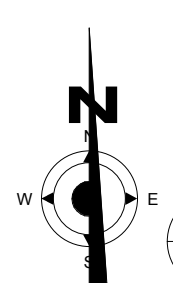
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FOOTING SCHEDULE				
TAG	SIZE	REINFORCING	MPa	NOTES
F4	36" x 36" x 8"thk PAD	(4)15M CONT. & 15M TRANSVERSE BARS @ 24" o/c		
PF1	24" x 24" x 8"thk PAD	(2)15M x 20"lg. CONT. E/W		
SF3	24" x 8" CONTINUOUS	(2)15M CONT.		
SF6	20"x8" CONT.	(2)15M CONT.		



#	DESCRIPTION
AF-2001	8" CONCRETE WALL (2") LAYERS DAMP PROOFING, R/W 10M @ 24" OR AS PER STRUCTURAL ENGINEER'S DESIGN. PROVIDE 2" RIGID INSULATION ON EXTERIOR
AF-2002	8" CONCRETE WALL R/W 10M @ 24" OR AS PER STRUCTURAL ENGINEER'S DESIGN
AF-3004	4" FLOOR DRAIN - TIE INTO PERIMETER DRAIN
APL-2256	4" (28MPa) CONC. SLAB ON 8 MIL V.B. POLY JOLIED AT SEAMS AND PERIMETER OVER 8" MIN. COMPACTED GRANULAR COMPACTED FIN
AH-2201	FURNACE
AMF-2001	222 BRIDGING EACH JOIST SPACE AT 6'-11" O.C. (9.234) (2)
AIW-1003	12" G.W.B. 2X4 STUDS @ 16" O.C. ALIGNED W/ JOISTS AND TRUSSES
AIW-1004	12" G.W.B. 2X4 STUDS AT 16" O.C. ALIGNED W/ JOISTS AND TRUSSES
AIW-1052	CLADDING AS PER OWNER. 3/8" RAIN SCREEN, TYPED BUILDING WRAP - TAPE AT ALL SEAMS PENETRATIONS, JOINTS. JOINT COATING. 2X6 STUDS AT 16" O.C. ALIGNED WITH JOISTS, INSULATION AS PER HEAT EFFICIENCY SCHEDULE
SCC-2017	10"x10" CONC. COLUMN, R/W (4) 10M HOOKED REIN INTO FOOTING
SW-3002	6" CONCRETE CURB (10") @ 10M AT TOP OF CURB & 10M VERTING @ 24" O.C. NOT FOOTING



KEYNOTE LEGEND	
#	DESCRIPTION
AC-2001	SINGLE DWELLING ATTIC ACCESS HATCH - MIN. 2'-1 13/64" X 19 11/16" CLEAR OPENING [9.19.2.1]
ADO-2201	SOLID CORE GARAGE DOOR TO RECEIVE WEATHER STRIPPING, SELF-CLOSING HINGES AND SECURITY HARDWARE. (PROVIDE MIN 2" CONC. BELOW DOOR)
AH-2601	N GAS SUPPLY
AMC-4003	8X8 WOOD COLUMN
AP-2601	HOSE BIBB
AR-2051	35" HIGH HAND RAIL, MIN 2" CLEARANCE [9.8.7]. 4" MAX PROJECTION INTO STAIRWAY [9.8.7.6]
AR-2102.1	36" HIGH GUARD RAIL [9.8.7.4] MAX 3 15/16" BETWEEN BALUSTERS [9.8.8.5]
AR-2102.3	36" HIGH GLASS GUARD RAIL
AW-1001	1/2" G.W.B. EACH SIDE, 2X4 STUDS AT 16" O/C ALIGNED W/ JOISTS AND/OR TRUSSES
AW-1003	1/2" G.W.B. EACH SIDE, 2X6 STUDS AT 16" O/C ALIGNED W/ JOISTS AND/OR TRUSSES
AW-1009	GARAGE 2X6 WALL ASSEMBLY: 6 MIL V.B. POLY - TAPED AT ALL SEAMS AND WALL PENETRATIONS 2X6 STUDS AT 16" O/C. ALIGN WITH JOISTS AND/OR TRUSSES 1/2" GWB EACH SIDE W/ R19 BATT INSULATION TYVEK BUILDING WRAP ON GARAGE SIDE
AW-1052	CLADDING AS PER OWNER, 3/8" RAIN SCREEN, TYVEK BUILDING WRAP - TAPE AT ALL SEAMS & PENETRATIONS, 1/2" PLYWOOD SHEATHING, 2X6 STUDS AT 16" O/C ALIGNED WITH JOISTS, INSULATION AS PER HEAT EFFICIENCY SCHEDULE

REVISION SCHEDULE			
NO.	DRN	CHK	DATE

## Ambstep Homes

45905 Collins Drive, BC

PROJECT:

DESIGNER:

**GULIKER**  
DESIGN GROUP INC.  
604.824.2774  
www.guliker.ca  
info@guliker.ca

CLIENT ADDRESS:

Ambstep Homes  
9240 Young Road,  
Chilliwack BC V2P 4R2

PROJECT:

Lot 1 Collins Drive,  
Chilliwack, BC

TITLE:

main & upper floor plans

DRN:

JG

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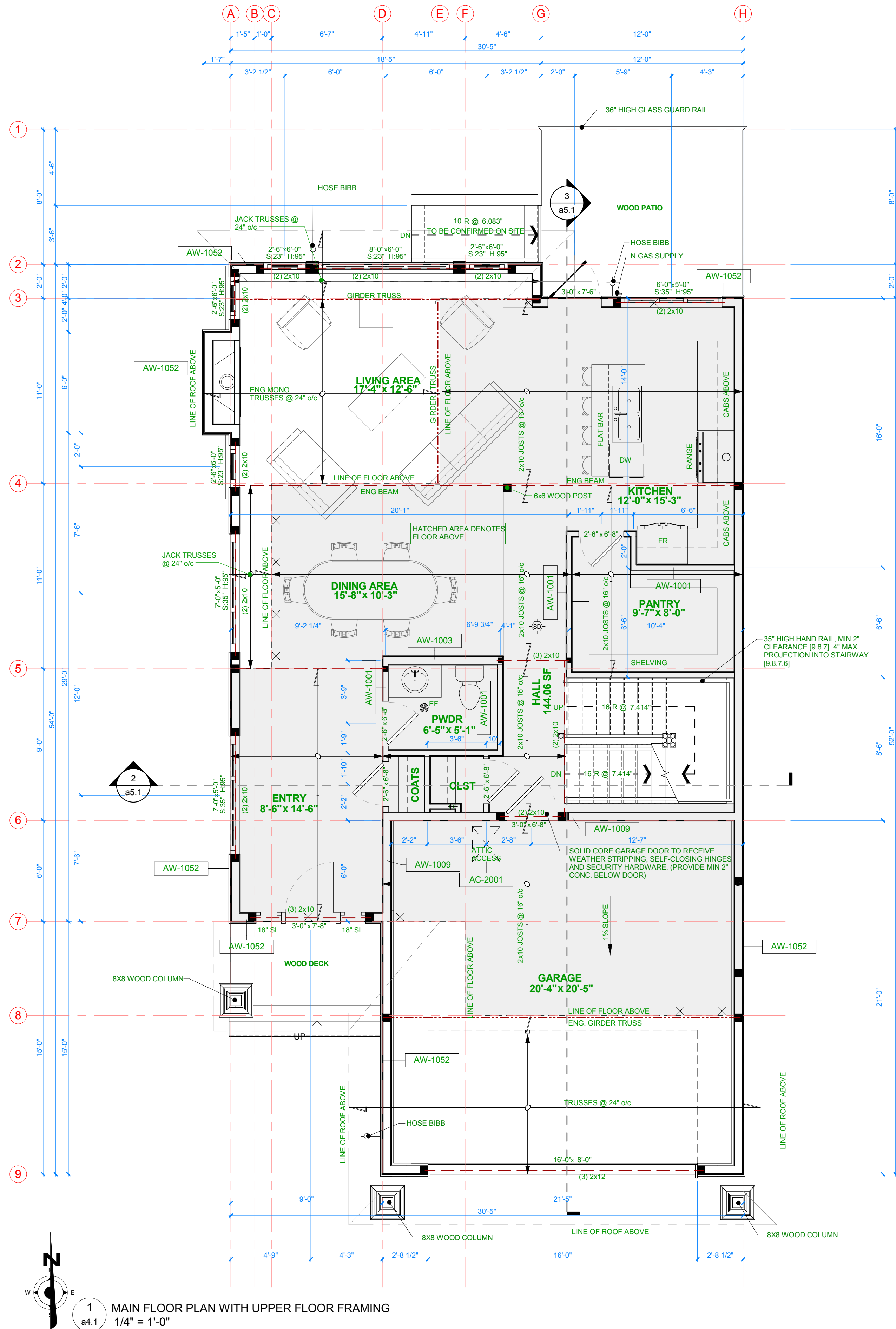
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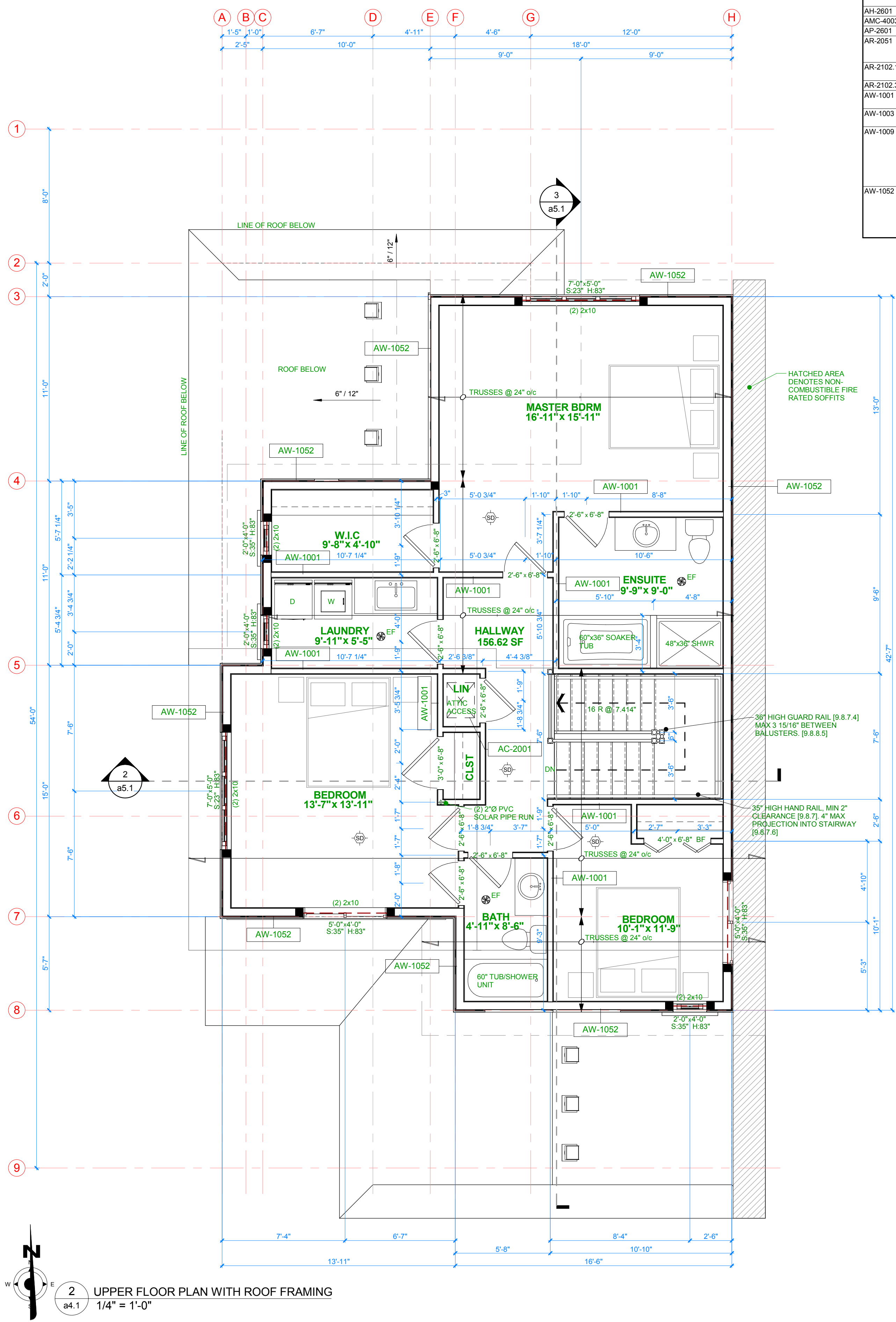
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1 MAIN FLOOR PLAN WITH UPPER FLOOR FRAMING  
1/4" = 1'-0"



2 UPPER FLOOR PLAN WITH ROOF FRAMING  
1/4" = 1'-0"



KEYNOTE LEGEND	
#	DESCRIPTION
ARO-2202	30YR ASPALT SHINGLES, (2) LAYERS BUILDING PAPER, 1/2" PLYWOOD SHEATHING W/ H' CLIPS, PRE-ENGINEERED TRUSSES AT 24" C R40 BLOW-IN INSULATION.
	PROVIDE UNOBSERVED VENT AREA NOT LESS THAN 1/300 OF CEILING AREA - MIN. 25% AT RIDGE & MIN. 25% AT EAVES. (9.19.1.2)
ARO-2301	5" CONT. ALUMINUM GUTTER.
ARO-2601	ROOF HOT VENT - 12"x12"

**P15016**

NO.	DDN	CHK	DATE	DESCRIPTION
REVISION SCHEDULE				

**Ambstep Homes**  
45905 Collins Drive, BC

1

DESIGNER



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CLIENT ADDRESS

Ambstep Homes  
9240 Young Road,  
Chilliwack BC V2P 4R2

PROJECT

Lot 1 Collins Drive  
Chilliwack, BC

**TITLE:**

roof plan

DRN: JC

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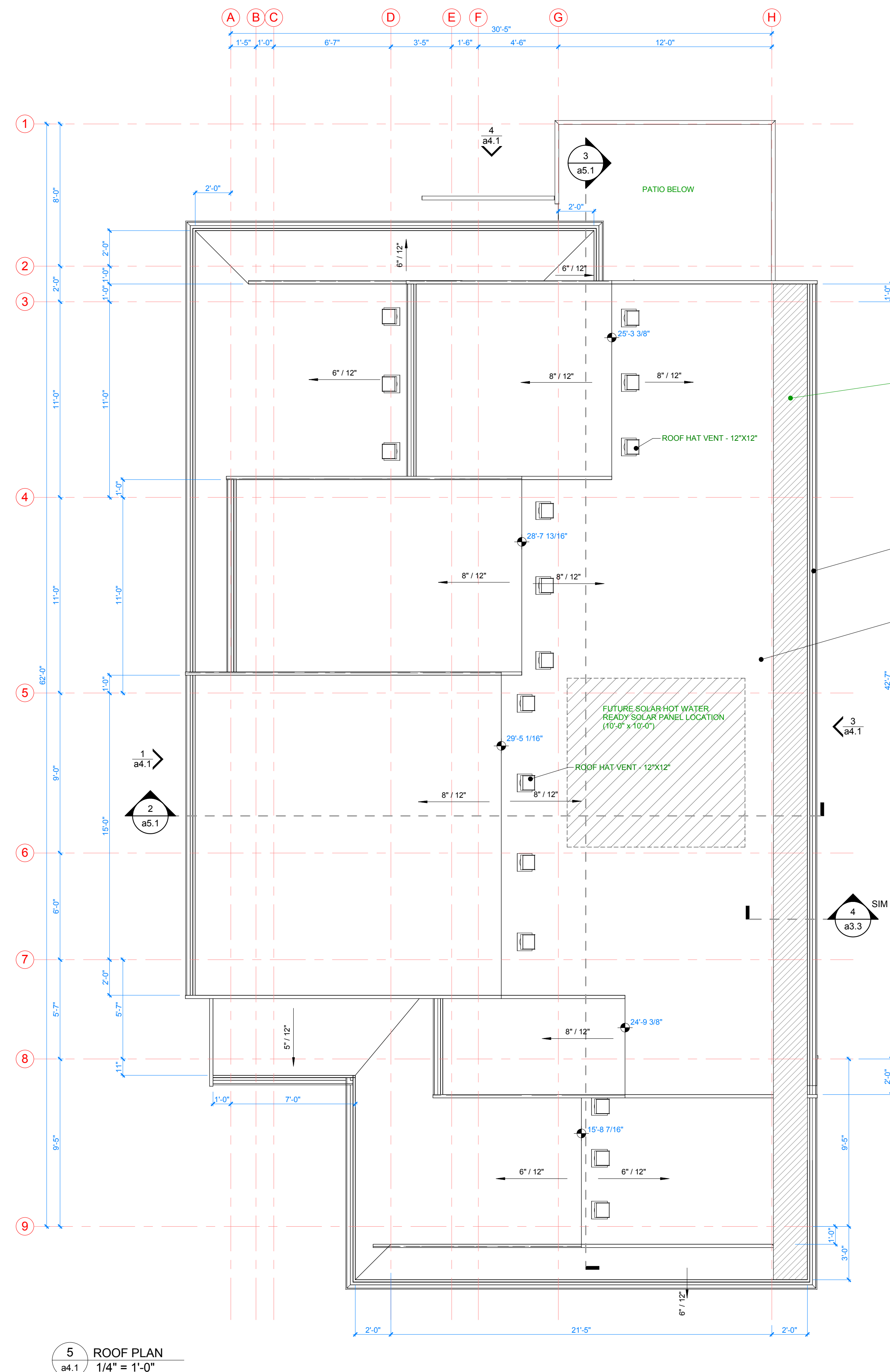
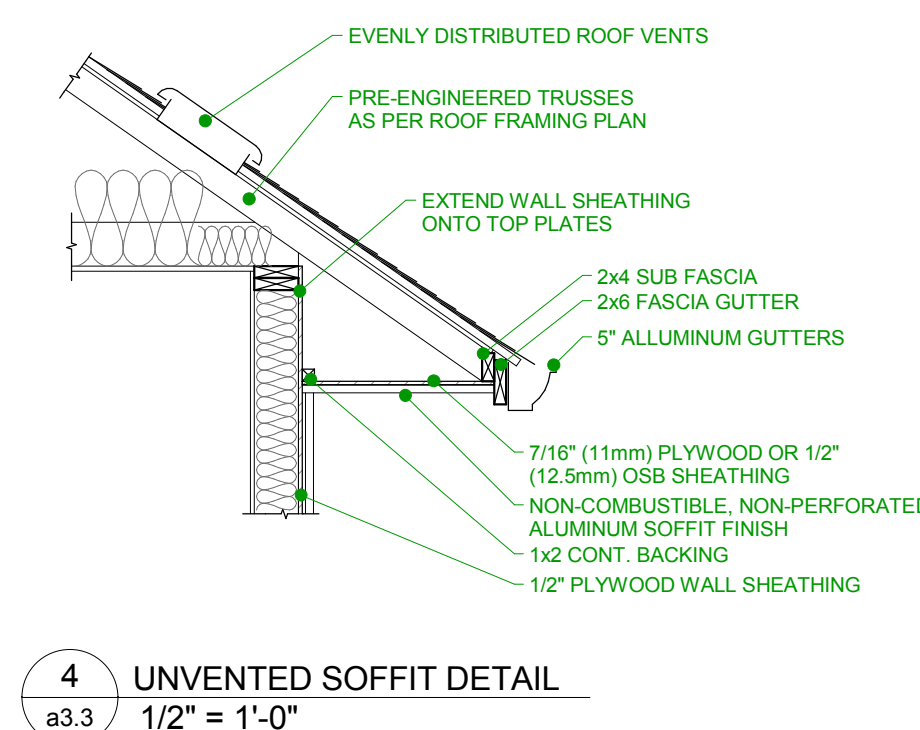
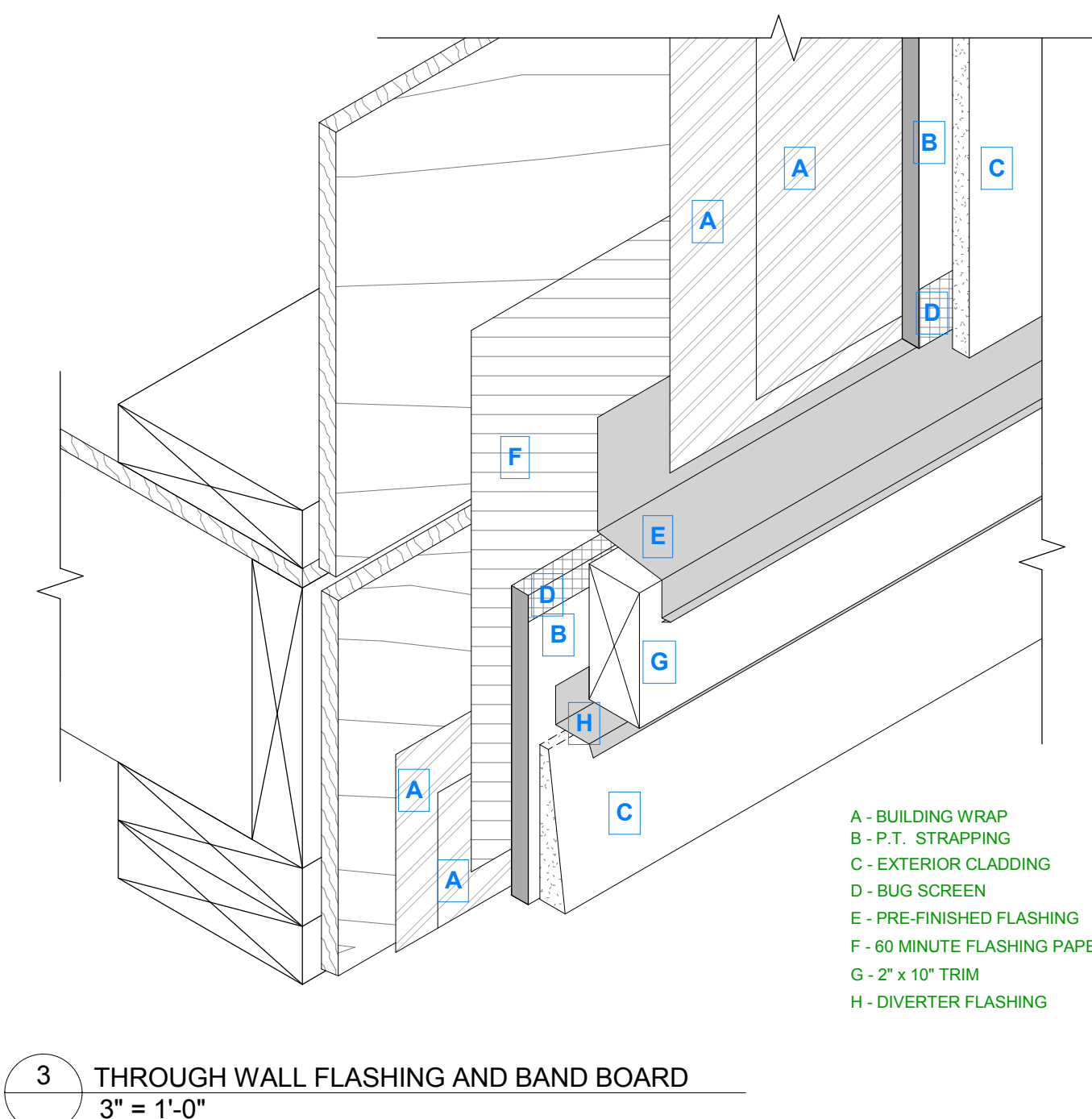
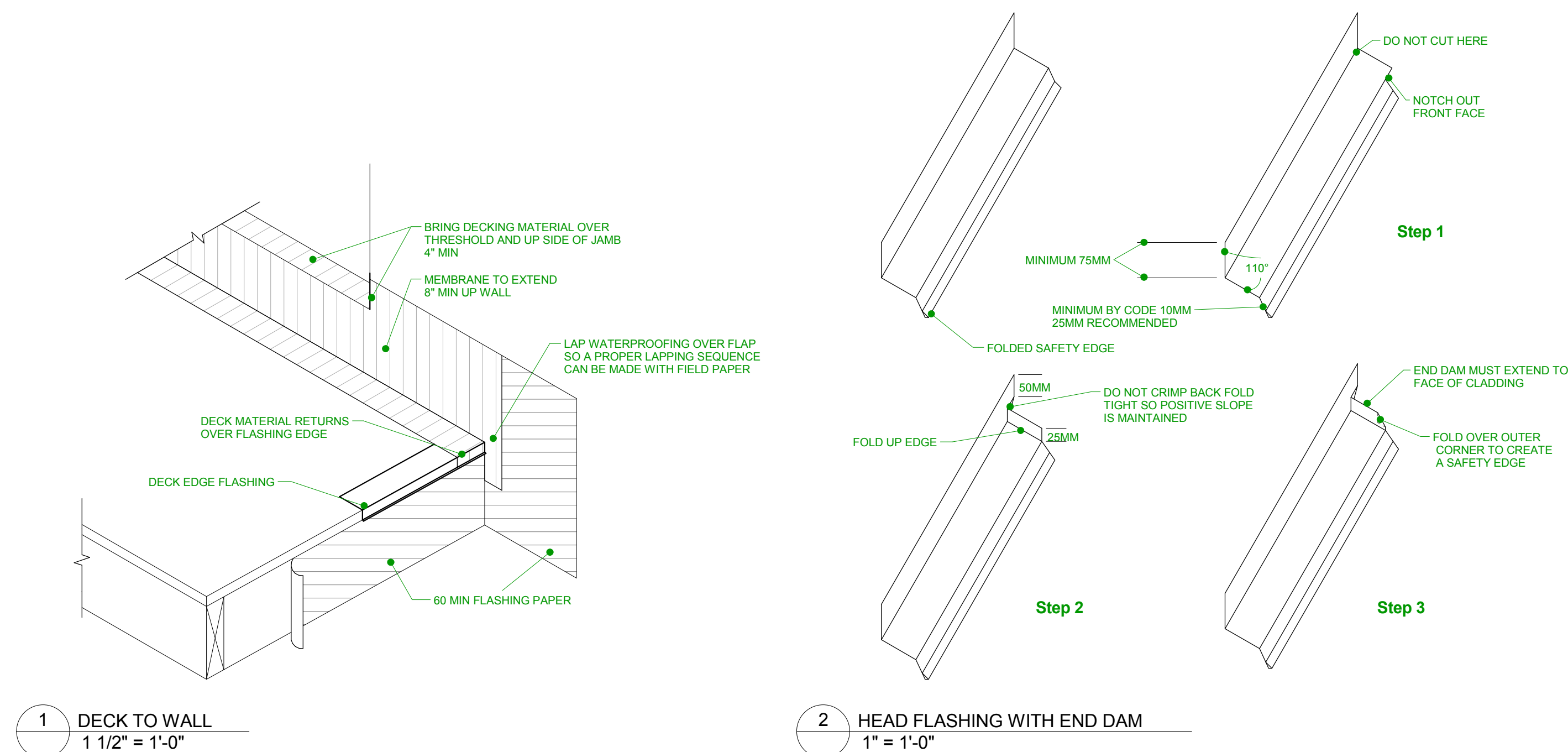
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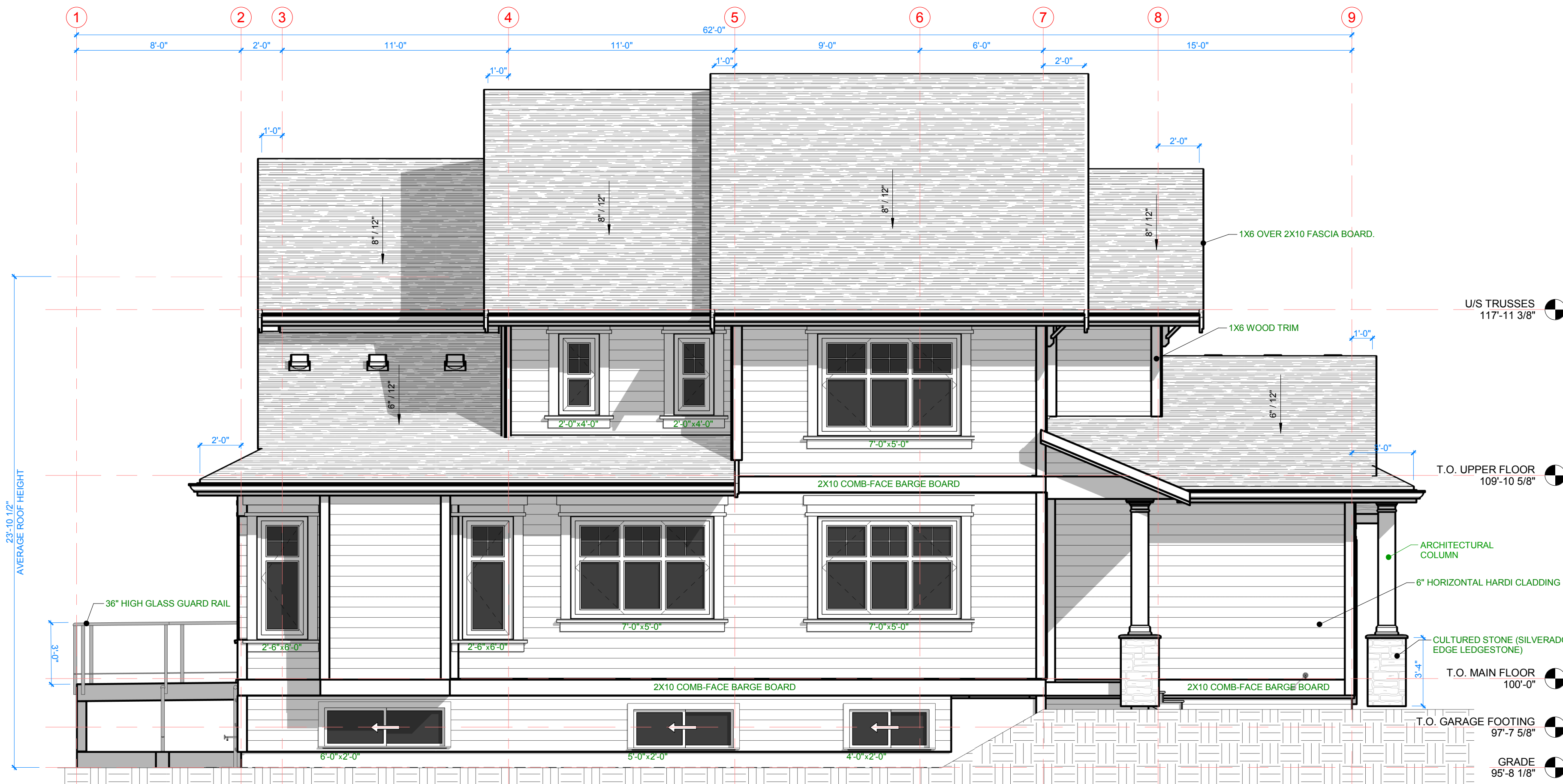
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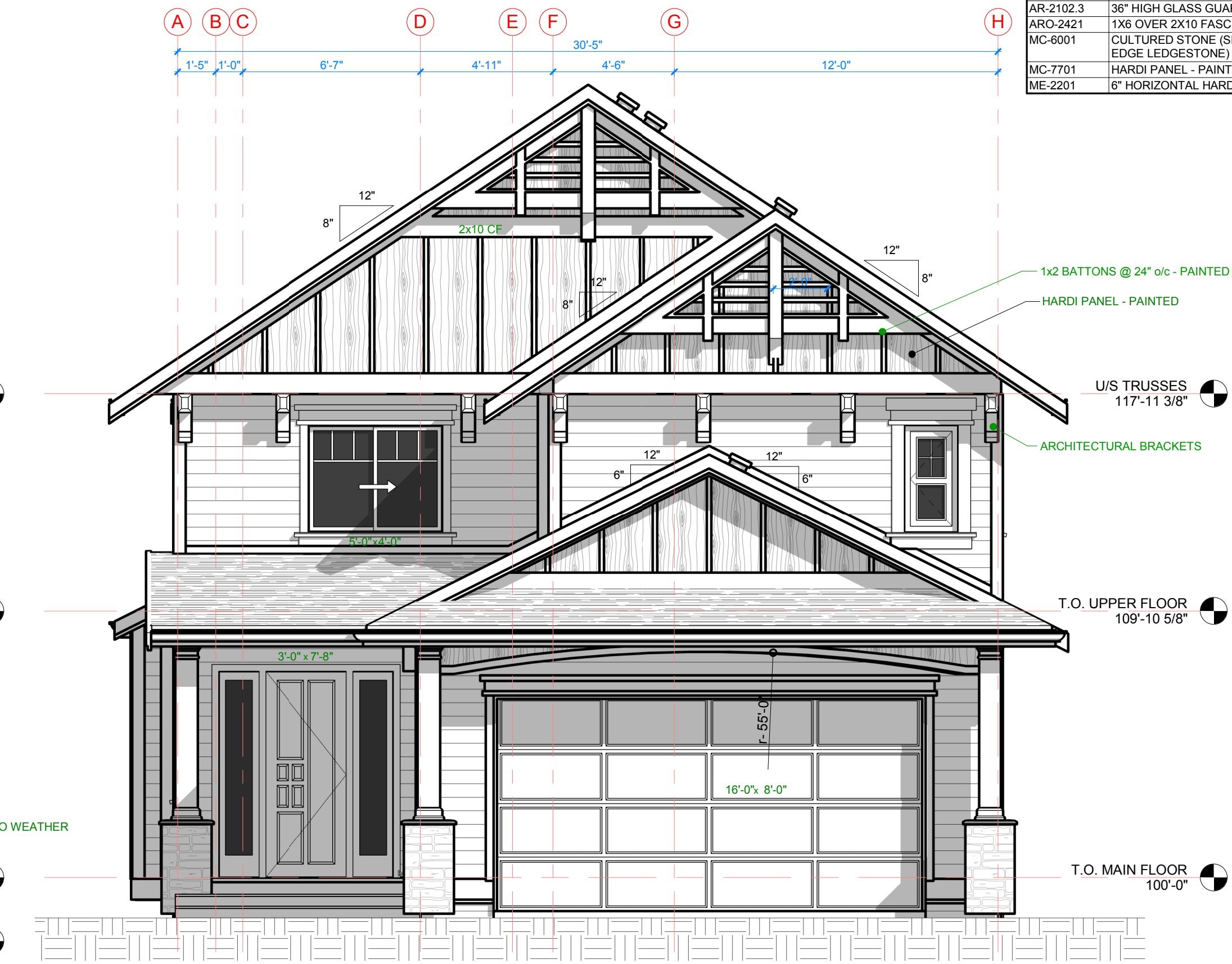
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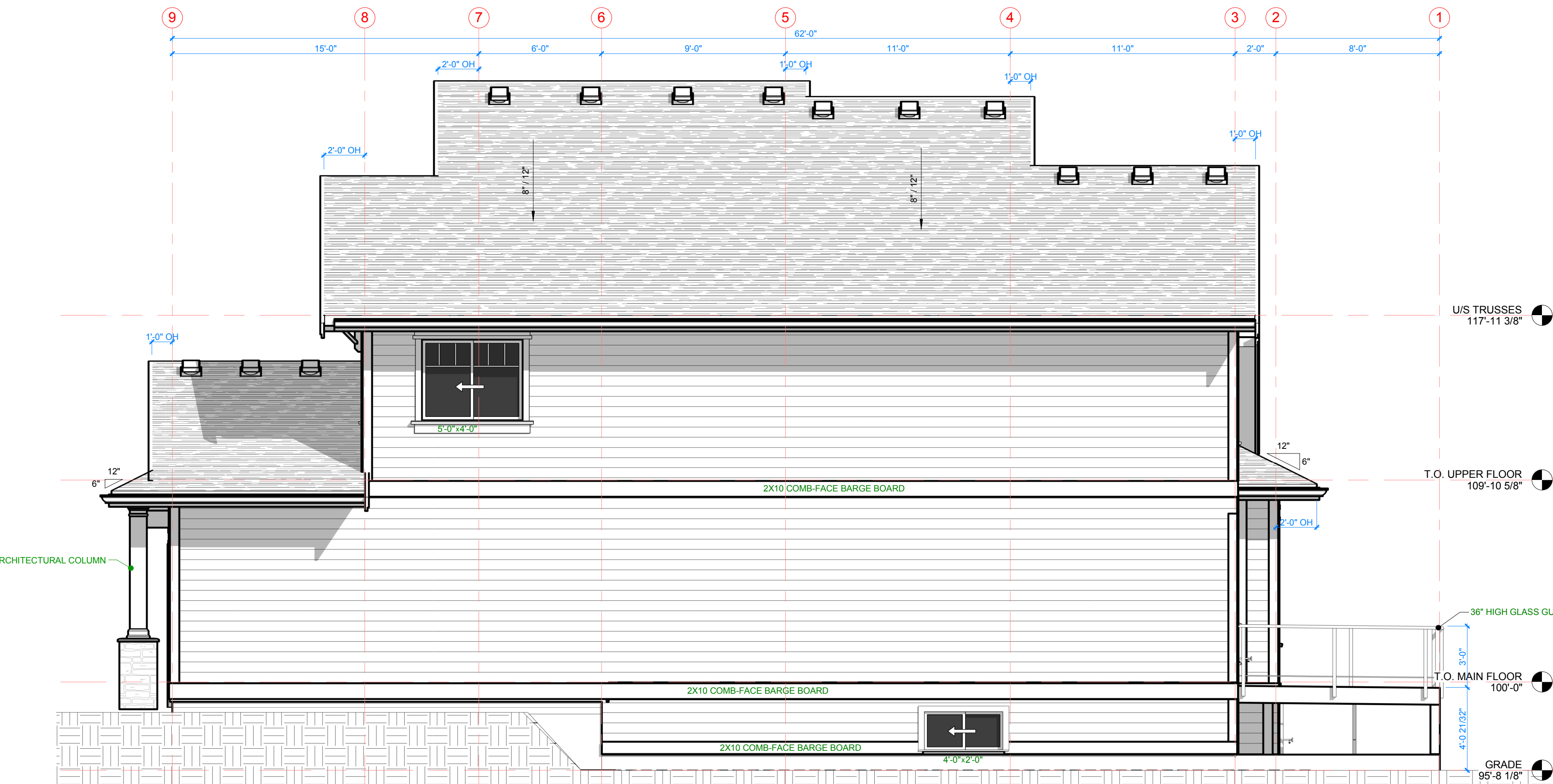


1 LEFT ELEVATION  
a3.1 1/4" = 1'-0"

2 FRONT ELEVATION  
a3.1 1/4" = 1'-0"

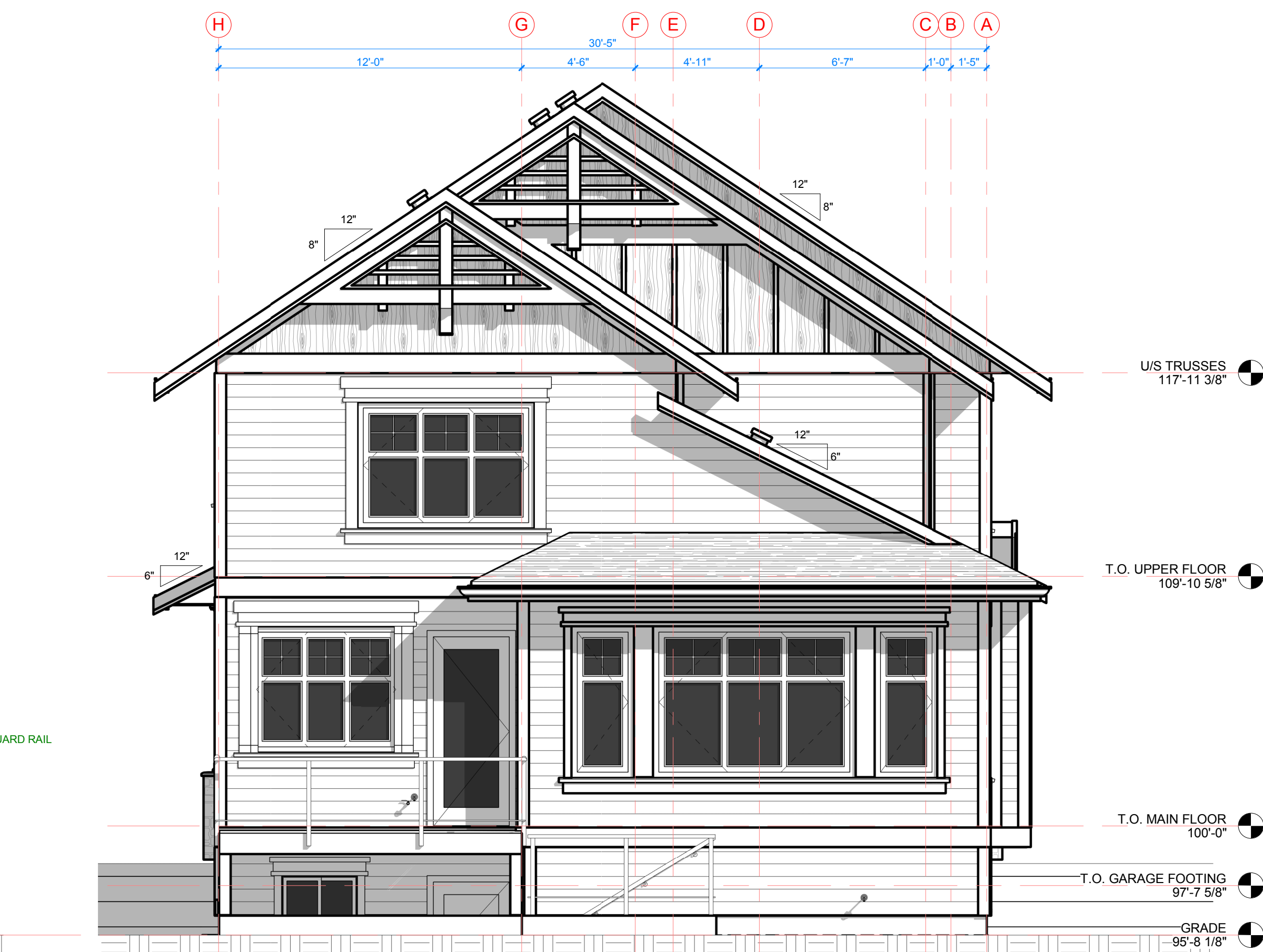


2 FRONT ELEVATION  
a3.1 1/4" = 1'-0"



3 RIGHT ELEVATION  
a3.1 1/4" = 1'-0"

4 REAR ELEVATION  
a3.1 1/4" = 1'-0"



4 REAR ELEVATION  
a3.1 1/4" = 1'-0"

KEYNOTE LEGEND	
#	DESCRIPTION
AMW-1005.1	2X10 COMB-FACE BARGE BOARD
AMW-1052	1X6 WOOD TRIM
AR-2102.3	36" HIGH GLASS GUARD RAIL
ARO-2421	1X6 OVER 2X10 FASCIA BOARD
MC-6001	CULTURED STONE (SILVERADO WEATHER EDGE LEDGESTONE)
MC-7701	HARDI PANEL - PAINTED
ME-2201	6" HORIZONTAL HARDI CLADDING

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Ambstep Homes  
45905 Collins Drive, BC

PRODUCT:

DESIGNER:

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DESIGN GROUP INC.  
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CLIENT ADDRESS:

Ambstep Homes  
9240 Young Road,  
Chilliwack BC V2P 4R2

PROJECT:

Lot 1 Collins Drive,  
Chilliwack, BC

TITLE:

building elevations

DRN:

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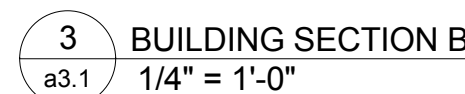
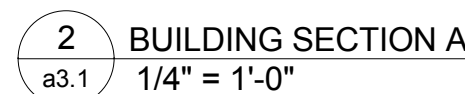
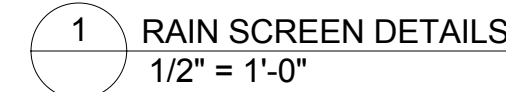


issued for building permit

REVISION SCHEDULE				
NO.	ORN	CHK	DATE	DESCRIPTION

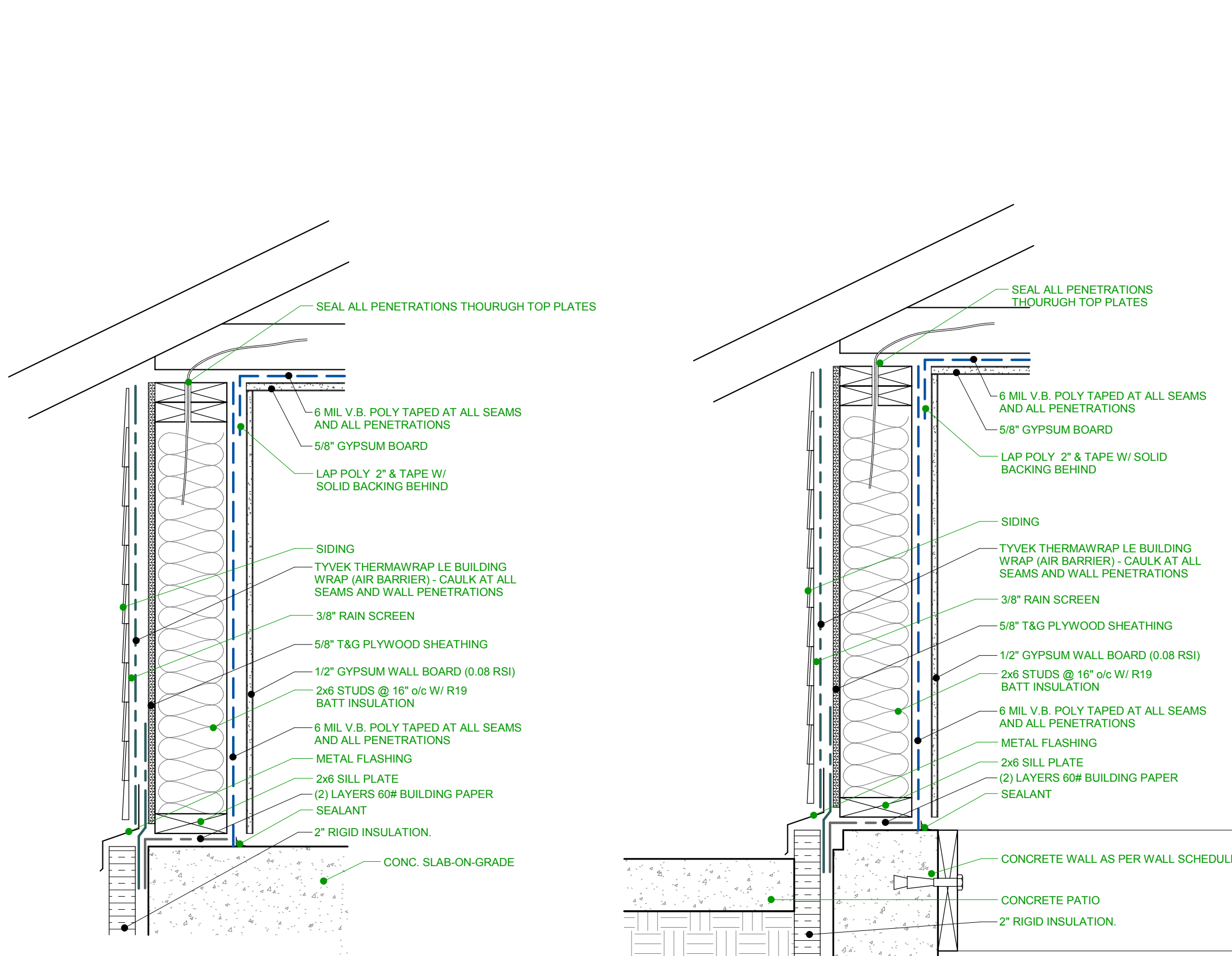
PROJECT:

DATE PRINTED:  
**17/04/2015 9:36:57 AM**



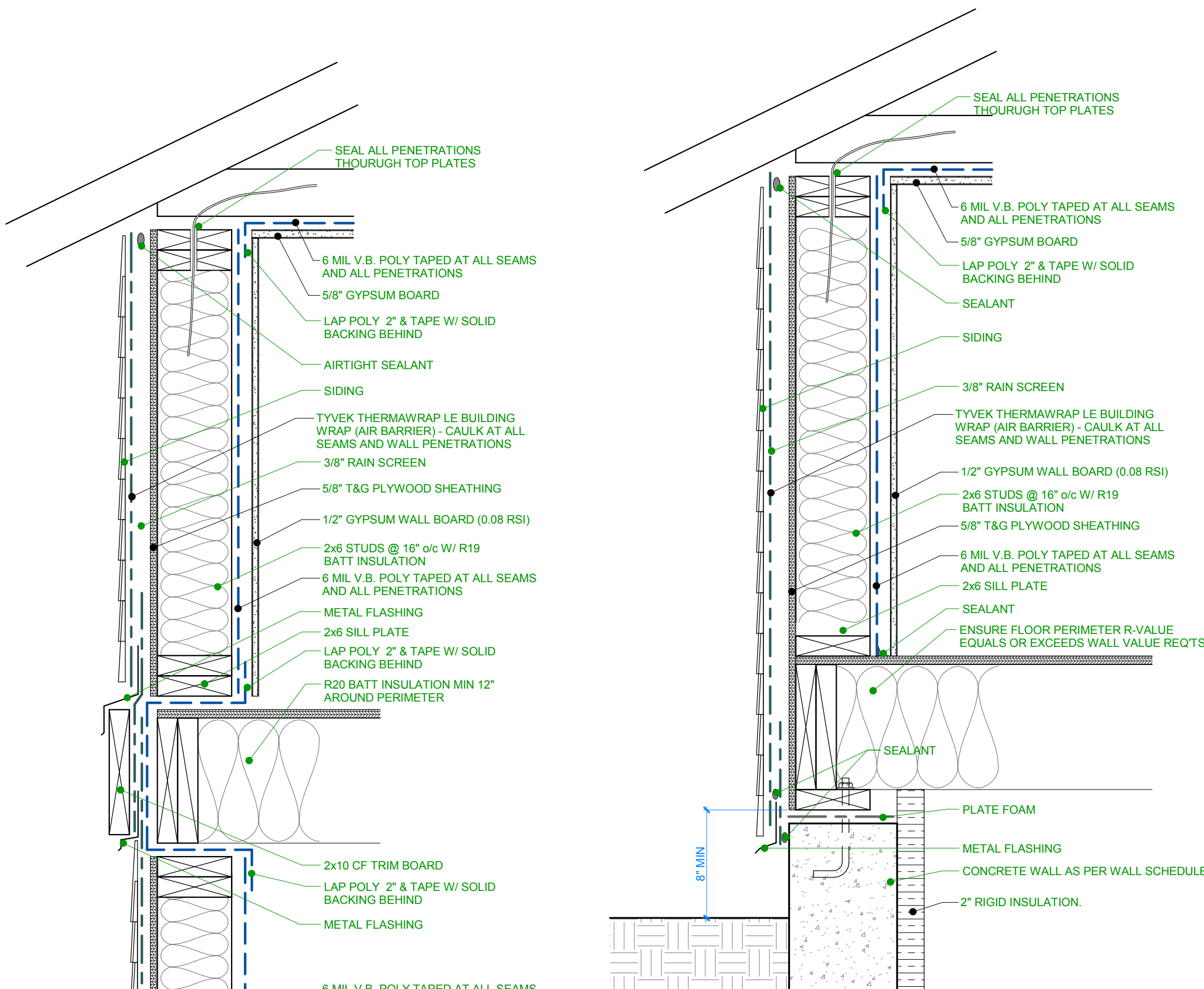
**COLOUR PRINTING:** Drawings have been prepared in colour for clarity and must be printed in colour. Consultants and Contractors are responsible for any misinterpretations caused as a result of printing in black and white.





1 WALL ASSEMBLY A  
1 1/2" = 1'-0"

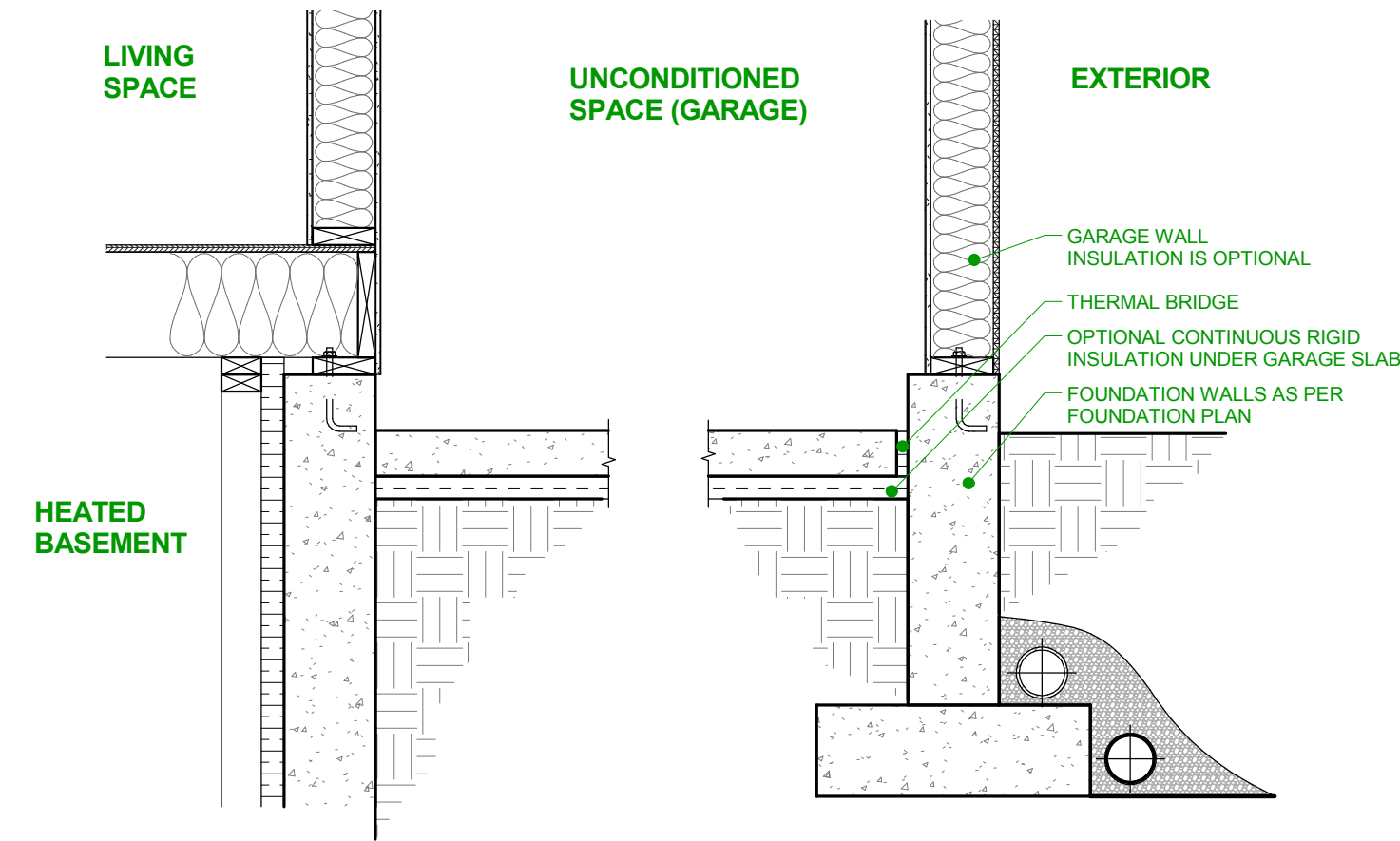
2 WALL ASSEMBLY B  
1 1/2" = 1'-0"



4 WALL ASSEMBLY D  
1 1/2" = 1'-0"

3 WALL ASSEMBLY C  
1 1/2" = 1'-0"

5 CANTILEVERED FLOOR SECTION  
1 1/2" = 1'-0"



6 FOUNDATION OVER UNHEATED SPACE  
3/4" = 1'-0"

ENERGY REQUIREMENTS

GENERAL INFORMATION

Zone: 4 < 3000  
Compliance Path: Prescriptive  
Heating Type: Forced air  
Heat - recovery unit: No

Min R Values (Without HRV):  
Foundation walls: RSI 1.99 (R 11.31)  
Foundation walls below frost line: uninsulated  
Foundation walls above frost line: RSI 1.96 (R 11.14)  
S.O.G. (integral footing) RSI 1.96 (R 11.14)  
Heated floors: RSI 2.32 (R 13.18)  
Unheated floors on perimeter: RSI 2.32 (R 13.18)  
Unheated floors on perimeter: uninsulated  
Unheated floors above frost line: RSI 1.96 (R 11.1)  
Exterior walls: RSI 2.78 (R 15.78)  
Floors over unheated spaces: RSI 4.67 (R 26.52)  
Heated floors: RSI 2.32 (R 13.17)  
Skylight Shafts: RSI 2.78 (R 15.8)  
Cathedral Ceilings & Flat Roofs: RSI 4.67 (R 26.5)  
Ceilings below attics: RSI 6.91 (R 39.2)

Skylights: 2.90U  
Fenestration & Doors: 1.80U  
Door to garage: RSI 1.1 (R 6.25)  
Access hatch: RSI 2.6 (U 0.46)  
Front Doors: USI 2.6 (U 0.46)  
Glass Block: USI 2.9 (U 0.51)

REQUIREMENTS

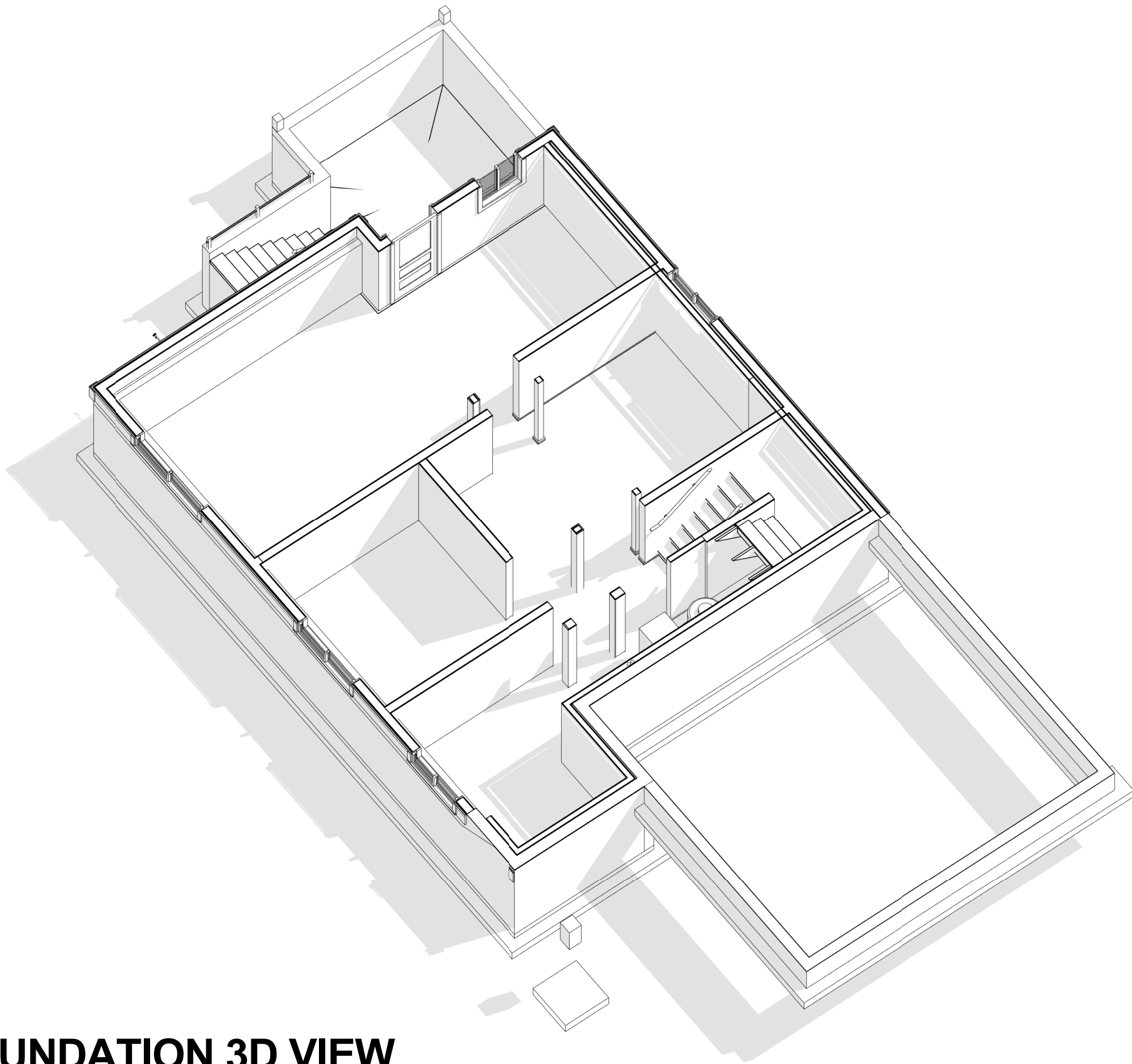
- Ducts located outside the thermal enclosure are to be sealed and insulated to the exterior wall insulation requirements.
- Install dampers at air inlets and exhausts where required.
- Piping for heating or cooling systems is located within the thermal enclosure or are fully insulated.
- HVAC equipment is located within thermal enclosure or designated to be installed outside of thermal enclosure.
- Temperature controls are installed on heating and cooling equipment.
- Indoor pools are covered or have an HRV/dehumidifier.
- HVAC and SWH equipment meet minimum performance requirements determined in Tables 9.36.3.10 and 9.36.4.2 of the B.C.B.C.2012
- Service water heating and pipes are insulated at the inlet and outlet of storage tanks.
- Service water heaters have temperature controls.
- Door manufacturers to ensure all exterior doors meet a minimum U value of 1.80.
- Skylight manufacturers to ensure all skylights meet a minimum U value of 2.90.

EXTERIOR WALL SCHEDULE									
MATERIAL			TYPE						
NAME	RSI	R	AW-1009	AW-1052	AW-1055	SW-3020	SW-3001	AF-2001	AF-2006
WALLS									
Interior Air Film	0.12	0.68							
Exterior Air Film	0.03	0.17							
Paint - 1 coat latex primer & paint	0.00	0.00	2						
Foam board - Expanded polystyrene - 1" thk	0.98	5.00							
Foam board - Extruded Polystyrene - 2" thk	1.76	10.00							
Foam board - Extruded Polystyrene - 3" thk	2.64	15.00							
Foam board - Extruded Polystyrene - 4" thk	3.52	20.00							
Gypsum Wall Board - 1/2" thk	0.08	0.45	2						
Gypsum Wall Board - 5/8" thk	0.1	0.56							
Polyethylene (6 mil) vapor barrier	0.00	0.00							
Studs/Joists (2x4) @ 16" o/c w/ R14 batt insulation	1.62	9.20							
Studs/Joists (2x4) @ 24" o/c w/ R14 batt insulation	1.70	9.65							
Studs/Joists (2x6) @ 16" o/c w/ R19 batt insulation	2.36	13.40							
Studs/Joists (2x6) @ 16" o/c w/ low density foam	2.58	14.65							
Studs/Joists (2x6) @ 16" o/c w/ medium density foam	3.00	17.03							
Studs/Joists (2x8) @ 16" o/c w/ R28 batt insulation	3.29	18.68							
Studs/Joists (2x10) @ 16" o/c w/ R28 batt insulation	4.33	24.59							
Concrete - 8" cast-in-place	0.069	0.39							
Concrete - 8" cast-in-place	0.092	0.52							
Concrete - 10" cast-in-place	0.114	0.65							
Plywood Sheathing - 1/2" thk	0.11	0.62							
Plywood Sheathing - 5/8" thk	0.137	0.78							
Plywood Sheathing - 3/4" thk	0.16	0.93							
OSB Sheathing - 7/16" thk	0.11	0.62							
Building Paper (60#) (2 layers)	0.01	0.06							
Building Wrap (60#) (Tyvek ThumaWrap LE)	0.35	2.00							
Building Wrap (60#) (Tyvek ThumaWrap R5.0)	5.28	30.0							
EPDM membrane	0.88	5.00							
Asphalt shingles	0.08	0.44							
Wood shingles	0.17	0.97							
Rain Screen - 3/8" Lathe	0.00	0.00							
Hardi Cladding									
Vynal Cladding (no air space)	0.11	0.62							
Cultured Stone	0.11	0.62							
Brick - fired clay 4" (102mm)2	0.07	0.40							
TOTAL RSI	2.91	3.16	3.16	1.96	2.0	2.0	4.97		4.77 10.04
TOTAL R	16.53	17.94	17.94	11.15	11.37	11.37	28.22		27.12 57.05

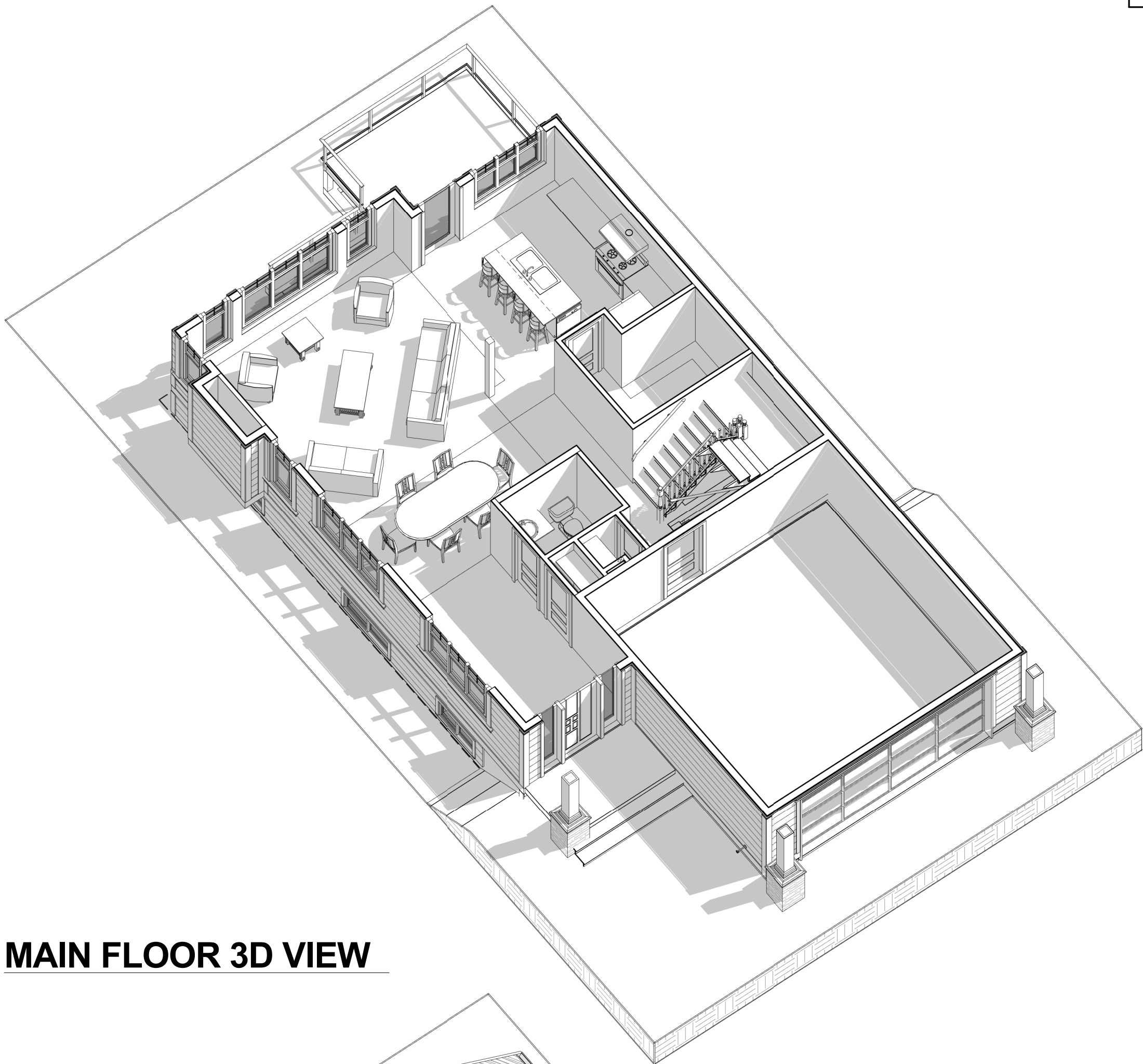


KEYNOTE LEGEND	
#	DESCRIPTION

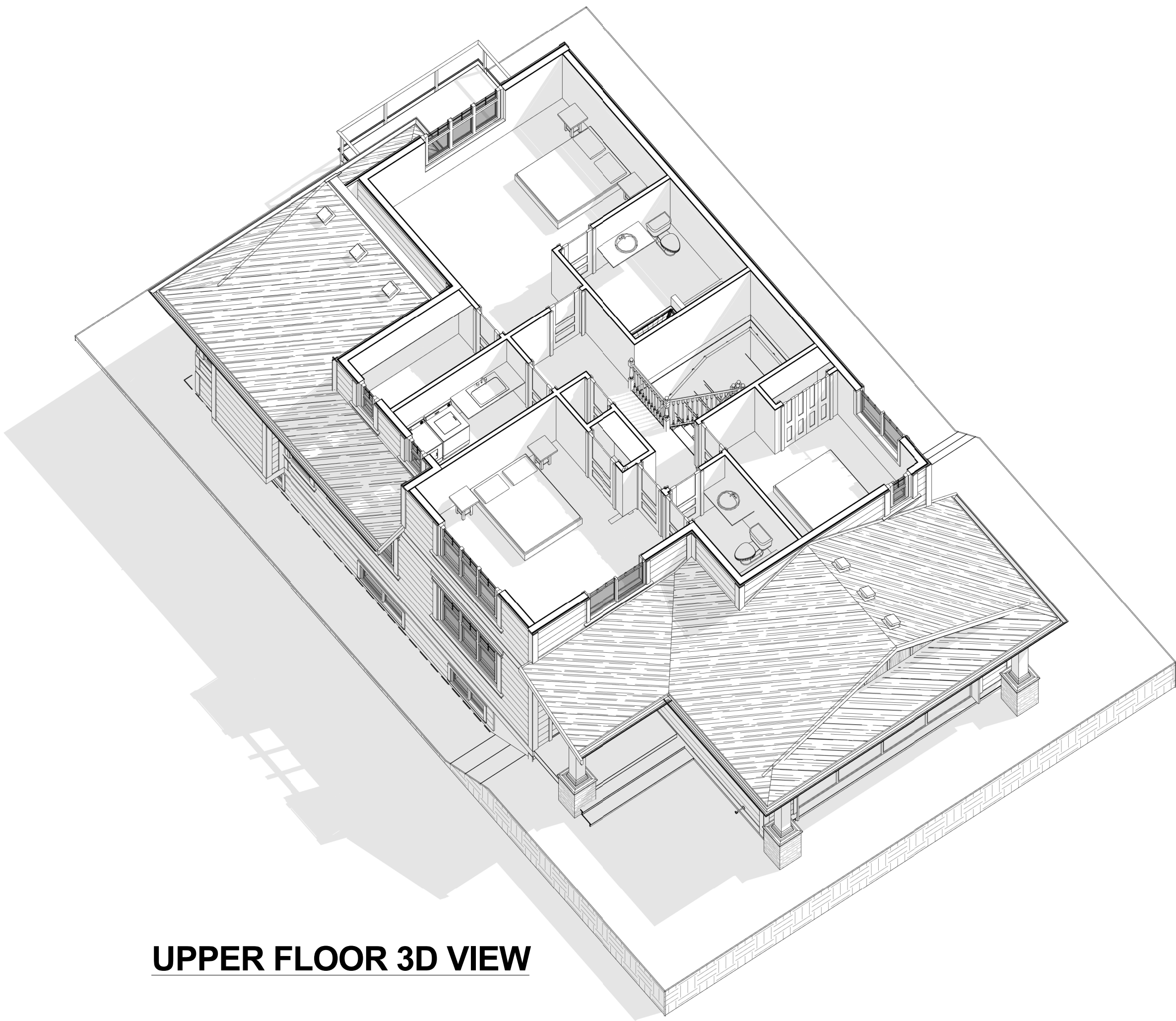
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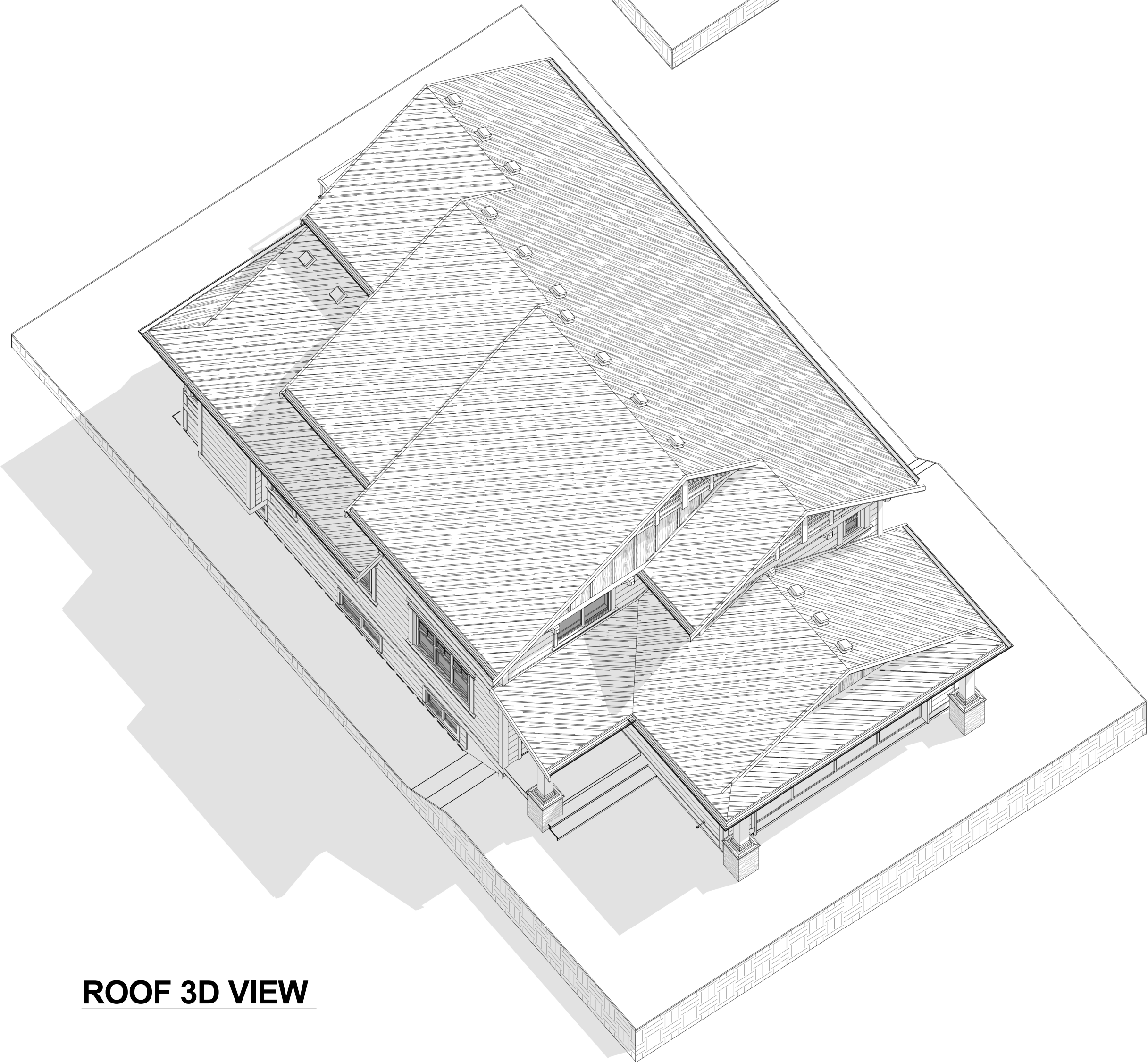
FOUNDATION 3D VIEW



MAIN FLOOR 3D VIEW



UPPER FLOOR 3D VIEW



ROOF 3D VIEW

REVISION SCHEDULE				DESCRIPTION
NO.	DRN	CHK	DATE	

**Ambstep Homes**  
45905 Collins Drive, BC

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CLIENT ADDRESS:

Ambstep Homes  
9240 Young Road,  
Chilliwack BC V2P 4R2

PROJECT:

Lot 1 Collins Drive,  
Chilliwack, BC

TITLE:

3d floor plans

DRN:

JG

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